

ALBEMARLE COUNTY BOARD OF SUPERVISORS

AQUATICS AND FITNESS CENTER AT CLAUDIUS CROZET PARK



PRODUCED IN
ASSOCIATION WITH



NOVEMBER 3RD, 2021



PART I: PROPOSED PROJECT SUMMARY

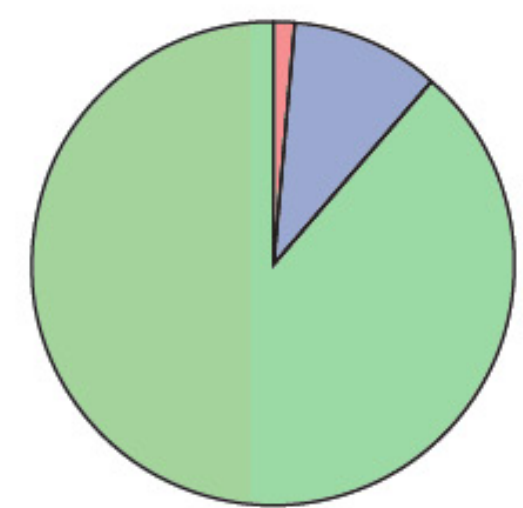
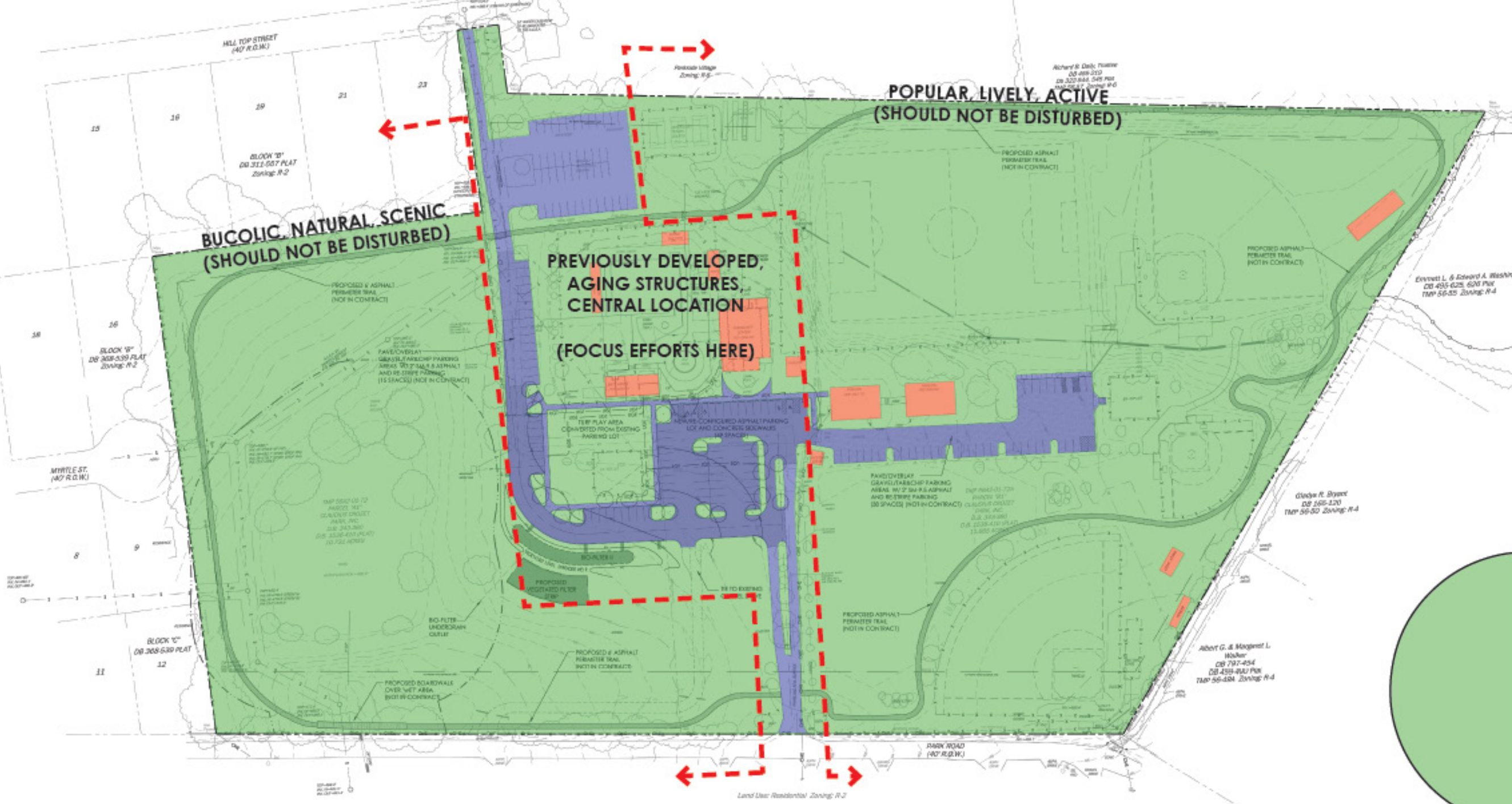


OPEN, PASTORAL
BUCHOLIC

PLANNED, PROGRAMMED,
SPECIFIC USES

Google Earth

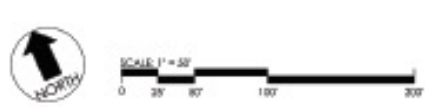
Earth

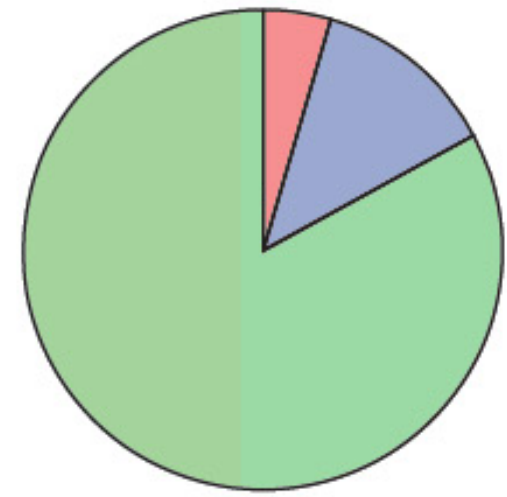


TOTAL PARK AREA (974,193 SF)

- BUILDING AREA (15,575 SF)
- PARKING/HARDCAPE (96,289 SF)
- GREEN SPACE/PARK AMENITIES (862,329 SF)

- 1.62% BUILDINGS
- 9.88% PARKING/SIDEWALK
- 88.49% PARK AMENITIES





TOTAL PARK AREA (974,193 SF)

- BUILDING AREA (44,671 SF)**
- PARKING/HARDSCAPE (122,289 SF)**
- GREEN SPACE/PARK AMENITIES (807,233 SF)**

- 4.58% BUILDINGS**
+2.96% INCREASE
- 12.55% PARKING/SIDEWALK**
+2.67% INCREASE
- 82.87% PARK AMENITIES**
-5.62% DECREASE



SCALE 1" = 30'







LANDSCAPE AND ENVIRONMENTAL CONSIDERATIONS

1. ENHANCED LANDSCAPING AND TREE PLANTINGS

- LOCATED AROUND THE POND AND ENTRANCE ROADWAYS

2. AGGRESSIVE STORMWATER RETENTION

- ECOLOGICALLY SENSITIVE BIOSWALES

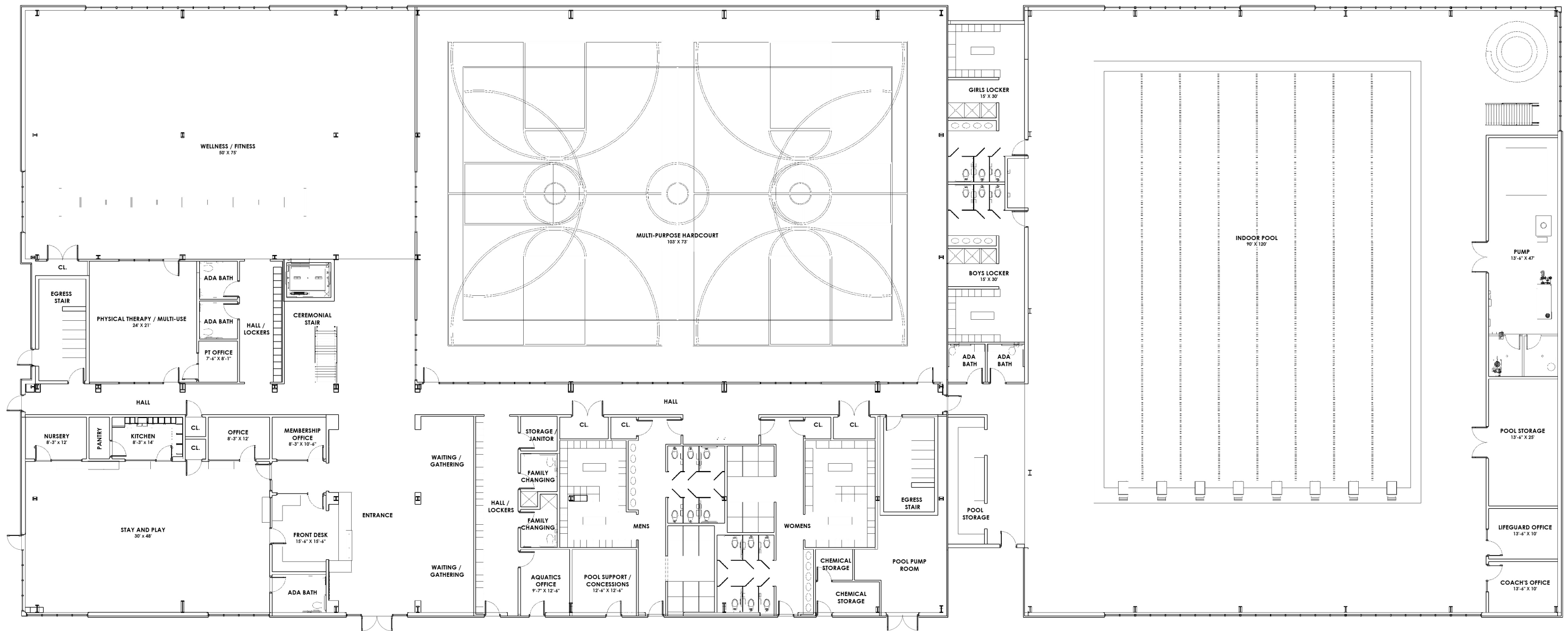
3. ENVIRONMENTALLY CONSCIOUS BUILDING FACILITY

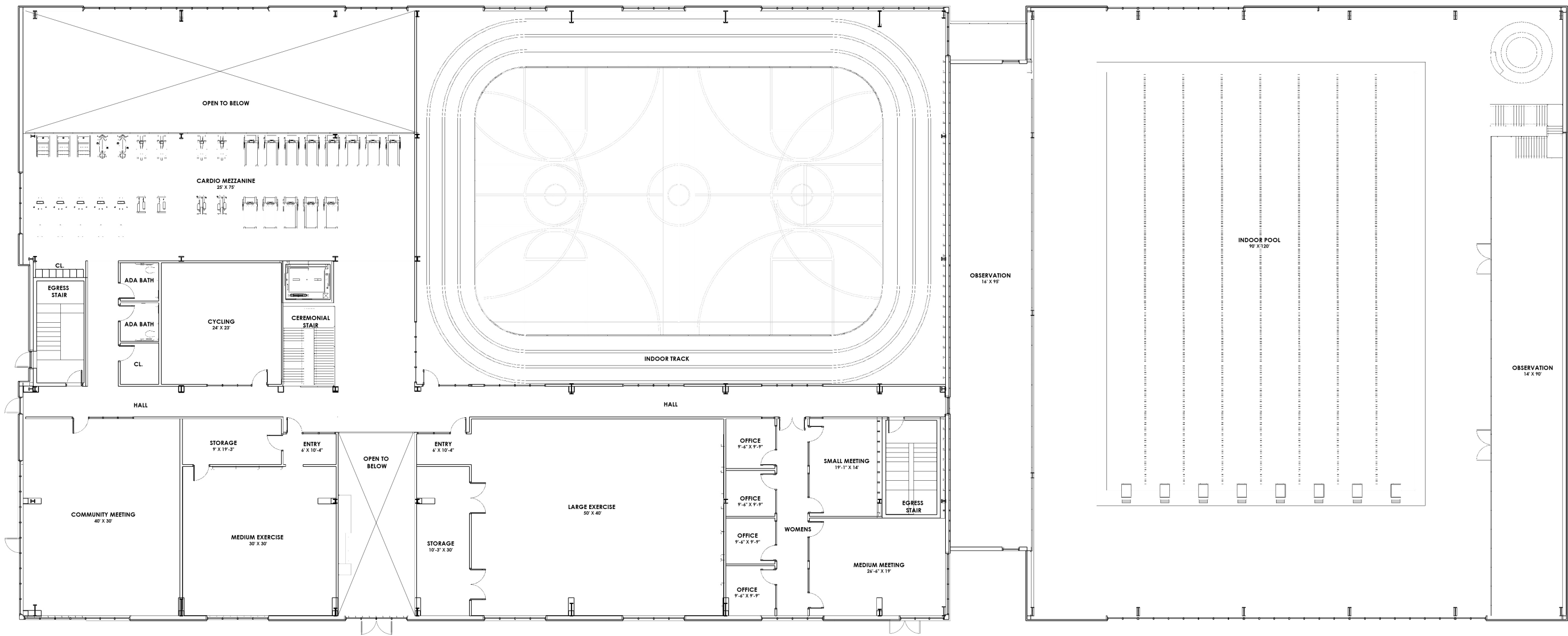
- NEW THOUGHTFULLY DESIGNED AND ENVIRONMENTALLY CONSCIOUS FACILITY REPLACES OUTDATED AND ILL-PERFORMING EXISTING FACILITIES



PROVIDE THE FOLLOWING:

- 10,000 SF, 8 LANE INDOOR POOL
- 7,500 SF MULTI-PURPOSE HARD COURTS (BASKETBALL, VOLLEYBALL, INDOOR SOCCER, ETC.)
- 3,750 HEALTH AND WELLNESS
- 2,500 SF AFTERSCHOOL CHILDCARE AND DAY CAMP PROGRAMS
- 3,000 SF OF COMMUNITY GATHERING / MEETING ROOMS / LOUNGE AREAS
- PHYSICAL THERAPY FACILITIES
- INDOOR WALKING TRACK
- NEW POOL PUMP ROOM AND RENOVATION TO THE EXISTING OUTDOOR POOL
- ENHANCED TRAIL SYSTEM AND LANDSCAPE PLANTINGS





PART II: REVISIONS PER PUBLIC HEARING

(FROM PLANNING COMMISSION, COUNTY STAFF, AND PUBLIC COMMENT)

- SHIFT BUILDING SOUTH 25' TO PROVIDE MORE LANDSCAPE BUFFER TO ADJACENT PARKSIDE VILLAGE NEIGHBORHOOD
- RELOCATE CONSTRUCTION ENTRANCE FROM HILL TOP STREET TO PARK ROAD
- RELOCATE REAR ENTRANCE FROM HILL TOP STREET TO INDIGO ROAD
- CAPTURE SURFACE RUNOFF RAINWATER WITH PROPOSED BIOSWALES
- PROVIDE PROPOSED ENHANCED LANDSCAPING SCREENING / NEW PLANTINGS THROUGHOUT THE SITE
- SHIFT INDOOR POOL FURTHER AWAY FROM ADJACENT PROPERTY LINE TO AVOID A SPECIAL EXCEPTION BEING REQUIRED.
- PROVIDE FURTHER CLARITY ON BUILDING MASSING AND ENVIRONMENTALLY-CONSCIOUS DESIGN STRATEGIES





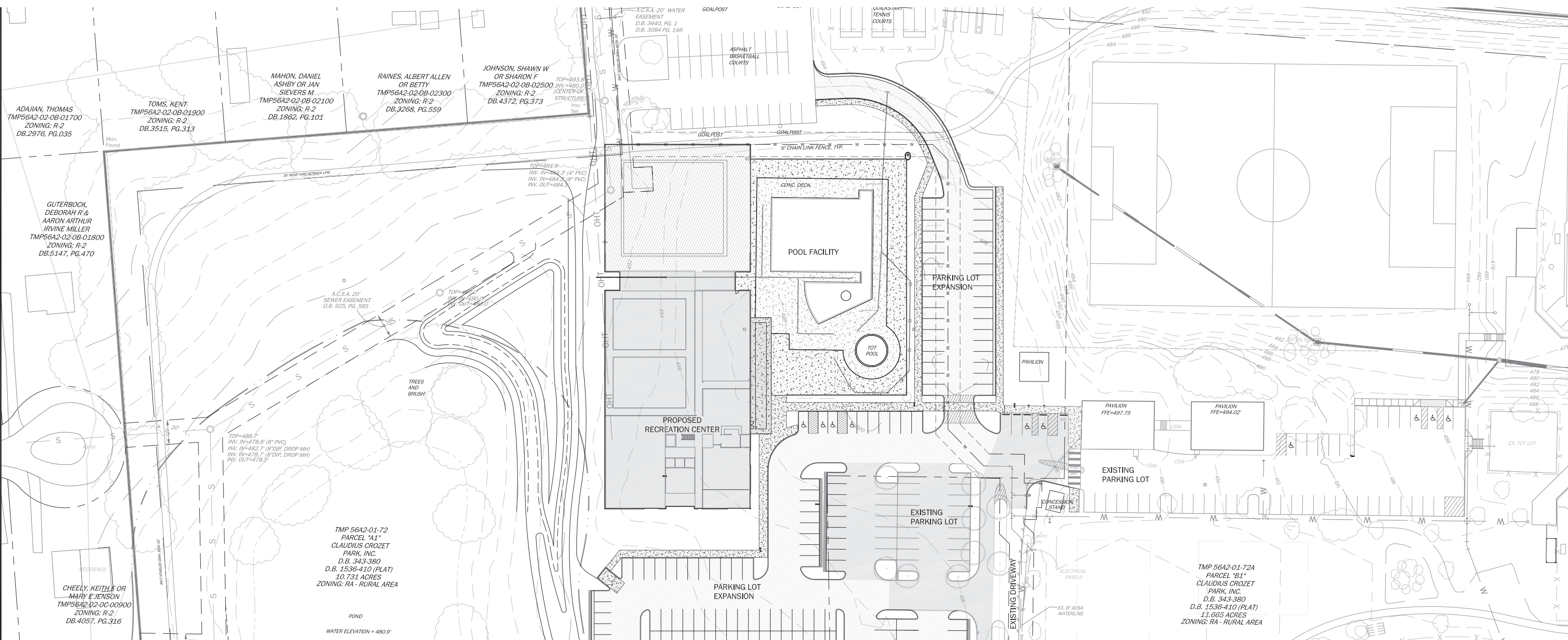
PROPOSE PARK CENTER



MUDHOUSE



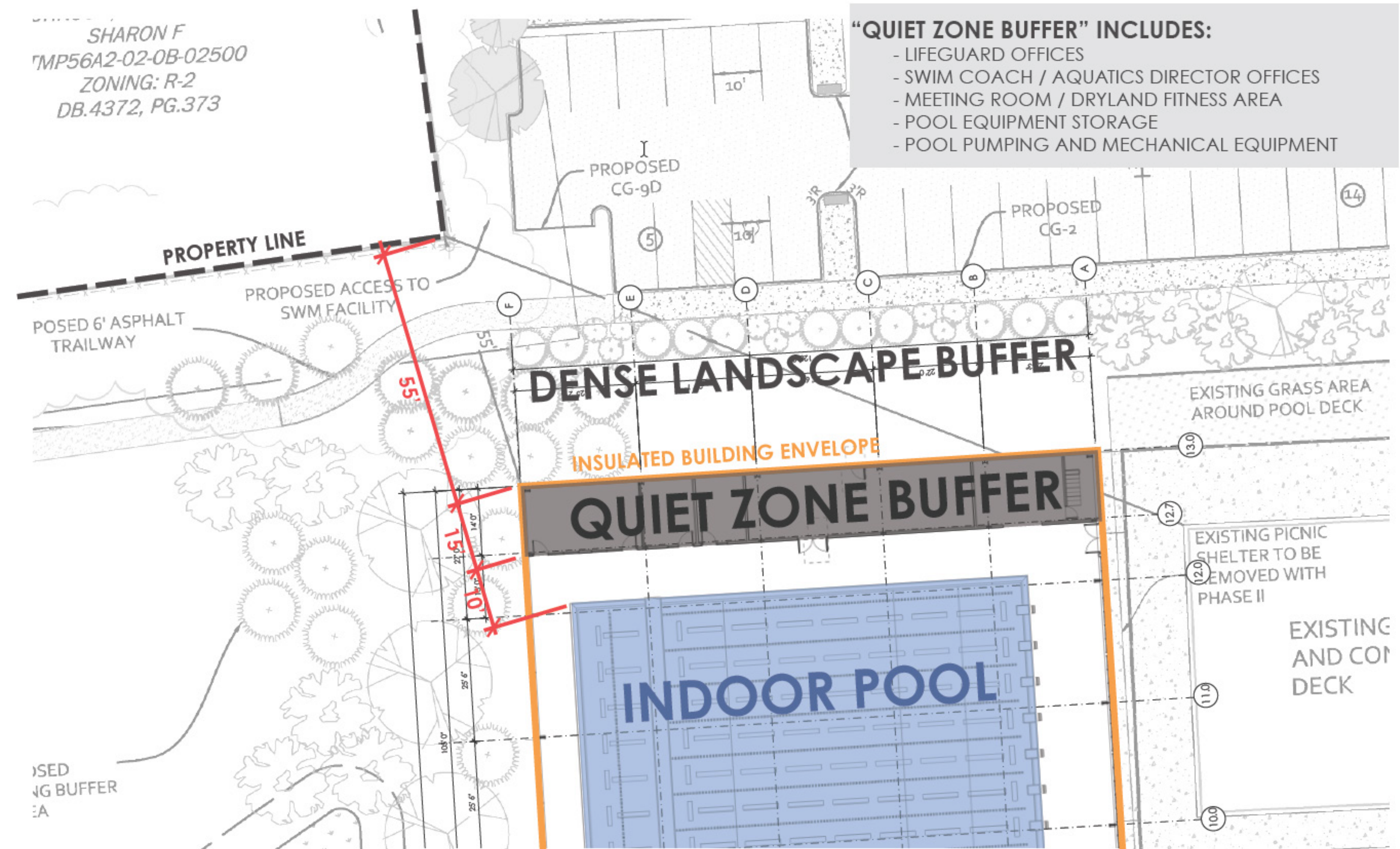
2-STORY HOUSE



SHARON F
MP56A2-02-0B-02500
ZONING: R-2
DB.4372, PG.373

"QUIET ZONE BUFFER" INCLUDES:

- LIFEGUARD OFFICES
- SWIM COACH / AQUATICS DIRECTOR OFFICES
- MEETING ROOM / DRYLAND FITNESS AREA
- POOL EQUIPMENT STORAGE
- POOL PUMPING AND MECHANICAL EQUIPMENT



CLAUDIUS CROZET
PARK INC
TMP56A2-04-00-000
ZONING: R-6
DB 3357, PG. 512

GUTERBOCK,
DEBORAH R &
AARON ARTHUR
IRVINE MILLER
TMP56A2-02-0B-01800
ZONING: R-2
DB.5147, PG.470

CHEELY, KEITH F OR
MARY E JENSON
TMP56A2-02-0C-00900
ZONING: R-2
DB.4057, PG.316

WHITE, REBECCA OR
KARL POMEROY
TMP56A2-02-0C-01200
ZONING: R-2
DB.3879, PG.276

TMP 56A2-01-72
PARCEL "A1"
CLAUDIUS CROZET
PARK, INC.
D.B. 343-380
D.B. 1536-410 (PLAT)
10.731 ACRES
ZONING: RA - RURAL AREA

PROPOSED
POOL
EXPANSION

EXISTING POOL
AND CONCRETE
DECK

LOCATION OF CONCESSION AREA

PROPOSED
CONCRETE POOL
DECK EXPANSION

The diagram shows a pool deck with a rectangular area labeled 'PROPOSED CONCRETE POOL DECK EXPANSION' in the center. This area is surrounded by a pattern of small dots, representing the existing deck material. The expansion area is outlined with a solid line. To the right of the expansion area, there is a circular feature, possibly a pool or a large planter, with a solid line border. The entire diagram is set against a background of a grid pattern.

PHASE I -
PROPOSED
RECREATION
CENTER

EXISTING
PAVILION

PROPOSED 6"
CONCRETE SIDEWALK
FLUSH WITH PAVEMENT

EXIST
PAVIL

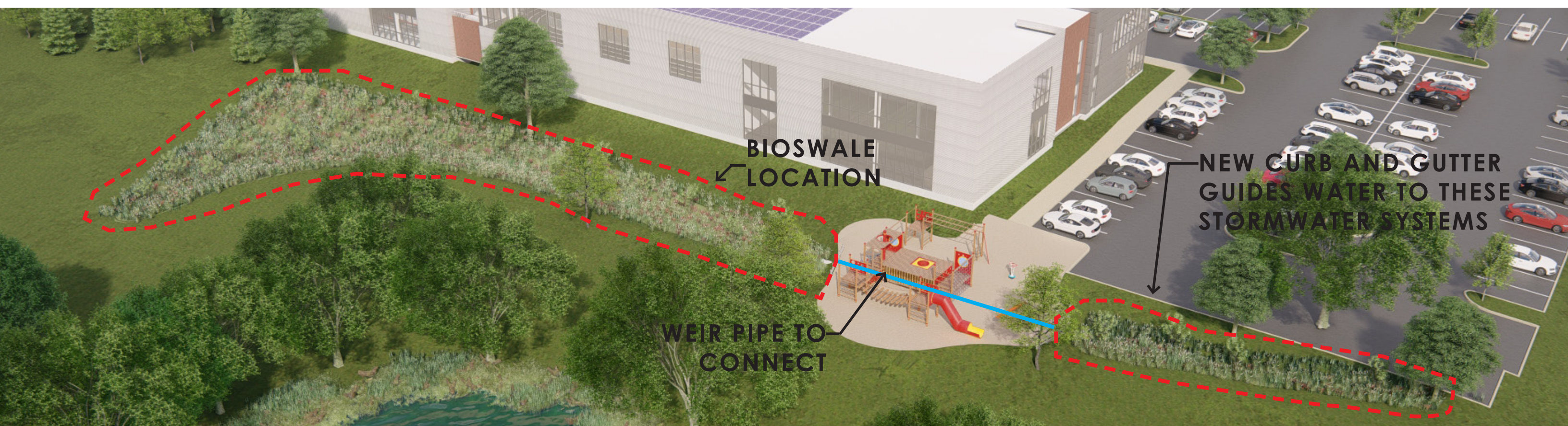
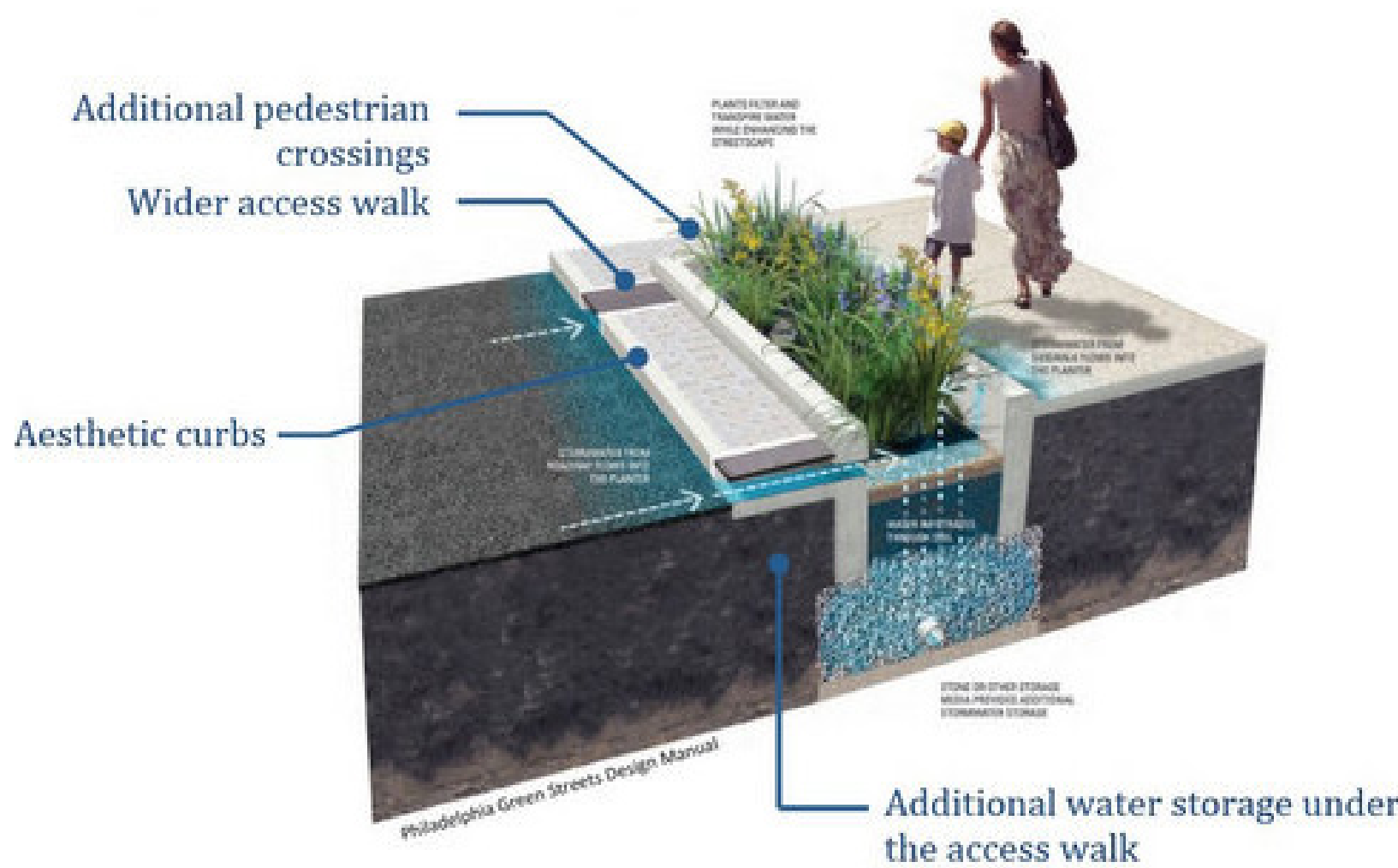
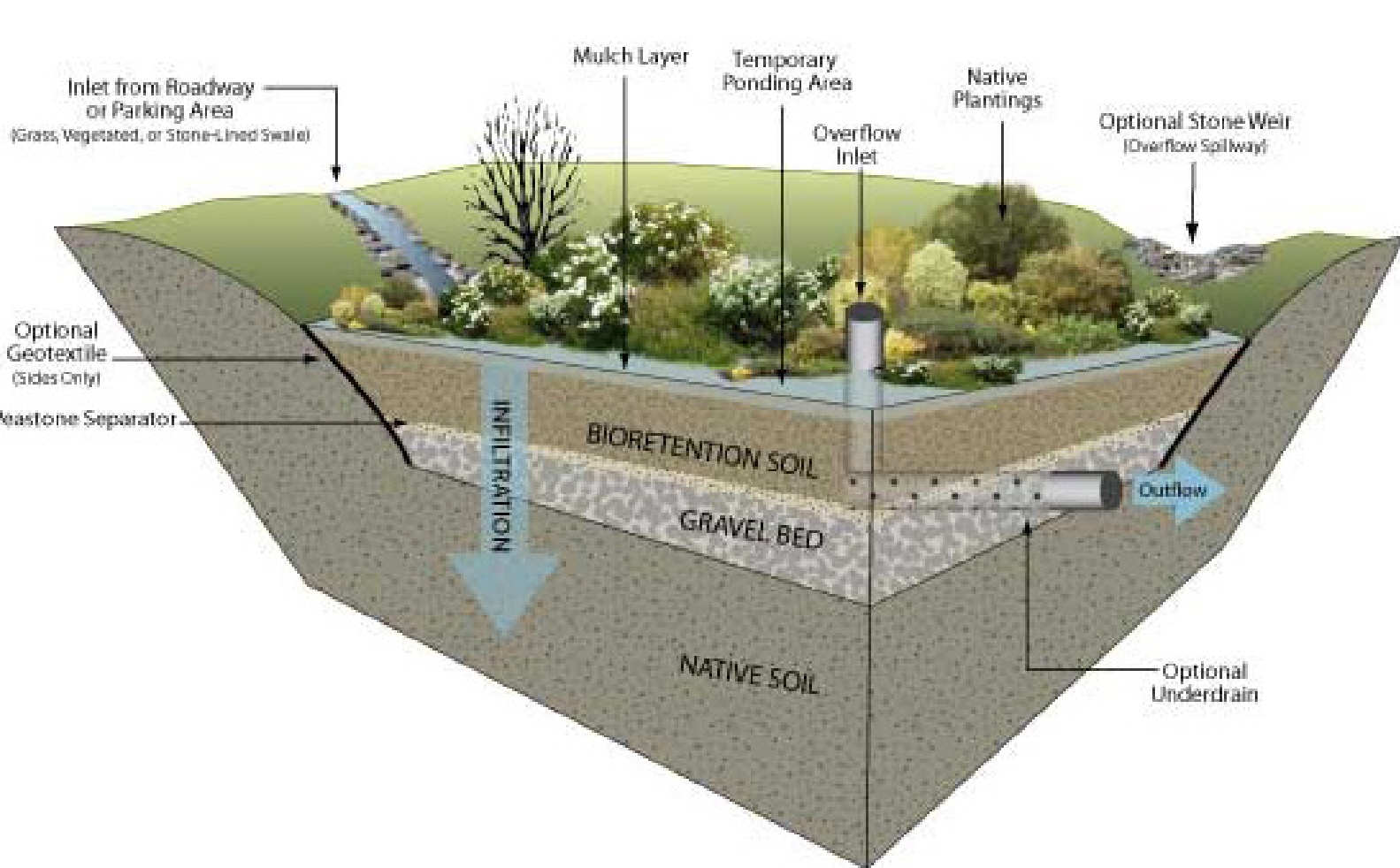
TMP 56A2-01-72A
 PARCEL "B1"
 CLAUDIUS CROZET
 PARK, INC.
 D.B. 343-380
 D.B. 1536-410 (PLAT)
 11.665 ACRES
 ZONING: RA - RURAL AREA

EXISTING GRASS
RECREATIONAL
PLAYFIELDS

LOCATION
CONCESS
AREA

CLAUDIUS CROZET
PARK INC
TMP56A2-04-00-000
ZONING: R-6
DB.3357. PG.512

18 |  DESIGN DEVELOP  CLAUDIUS CROZET PARK



PART III: RESPOND TO CONDITIONS

(PROPOSED STRATEGIES TO REDUCE THE RELIANCE ON CARS)

PROMOTE CONNECTIVITY

- THE PARK, AS SHOWN ON THE CROZET MASTERPLAN, IS DESIGNED ALONG A GREENSPACE CORRIDOR, PROVIDING ALTERNATIVE CONNECTIONS TO THE COMMUNITY PARK, OTHER THAN VEHICULAR CONNECTIONS AND ACCESS.
- THE PROPOSED PARK EXPANSION IS ALSO CONSISTENT WITH THE PARKS & GREENSYSTEMS GOAL OF PROVIDING NORTH/SOUTH AND EAST/WEST TRAILWAY CONNECTIONS THROUGH THE PARK TO THE ADJACENT AND SURROUNDING NEIGHBORHOODS.
- IMPROVE EXISTING CONNECTIONS TO THE CROZET CONNECTOR TRAIL TO THE NORTHEAST OF THE PARK AND TOWARD HILL TOP STREET TO THE NORTH

REDUCE ON SITE PARKING

- REDUCE REQUIRED PARKING AS MUCH AS ALLOWED BY ZONING - APPROXIMATELY 80 SPACES HAVE ALREADY BEEN ELIMINATED THROUGH ALLOWABLE REDUCTIONS
- FURTHER PARKING REDUCTIONS MAY BE PURSUED AT THE SITE PLANNING STAGE (SUBJECT TO REVIEW BY THE ZONING ADMINISTRATOR)

PROVIDE ON SITE INFRASTRUCTURE FOR BIKES

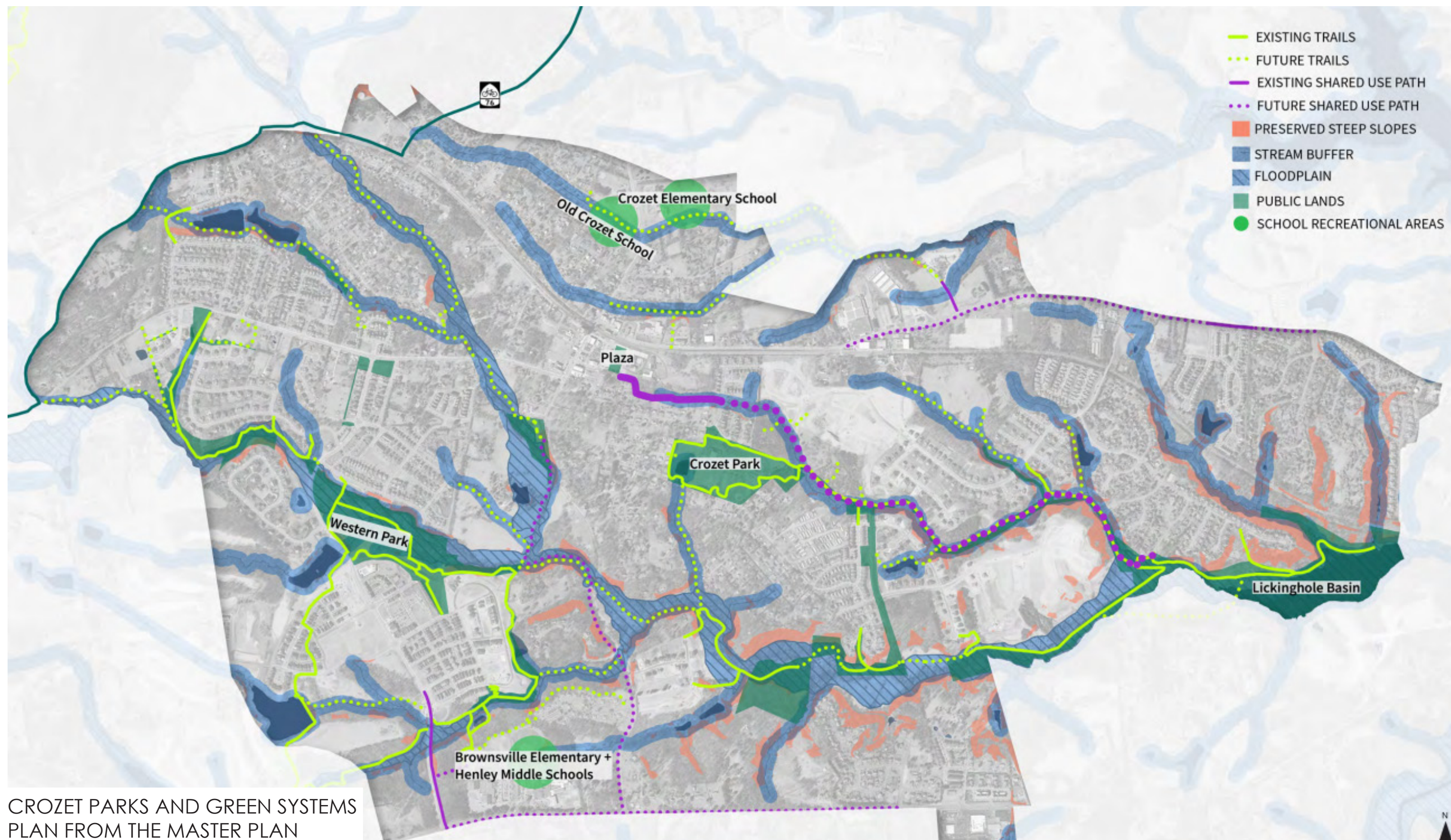
- BICYCLE STORAGE THROUGH BIKE RACKS AND/OR LOCKERS
- PROTECTED BICYCLE TRAVEL THROUGH MULTI-USE TRAILS, SHARED ROADWAY MARKINGS

PROTECT THE PEDESTRIAN

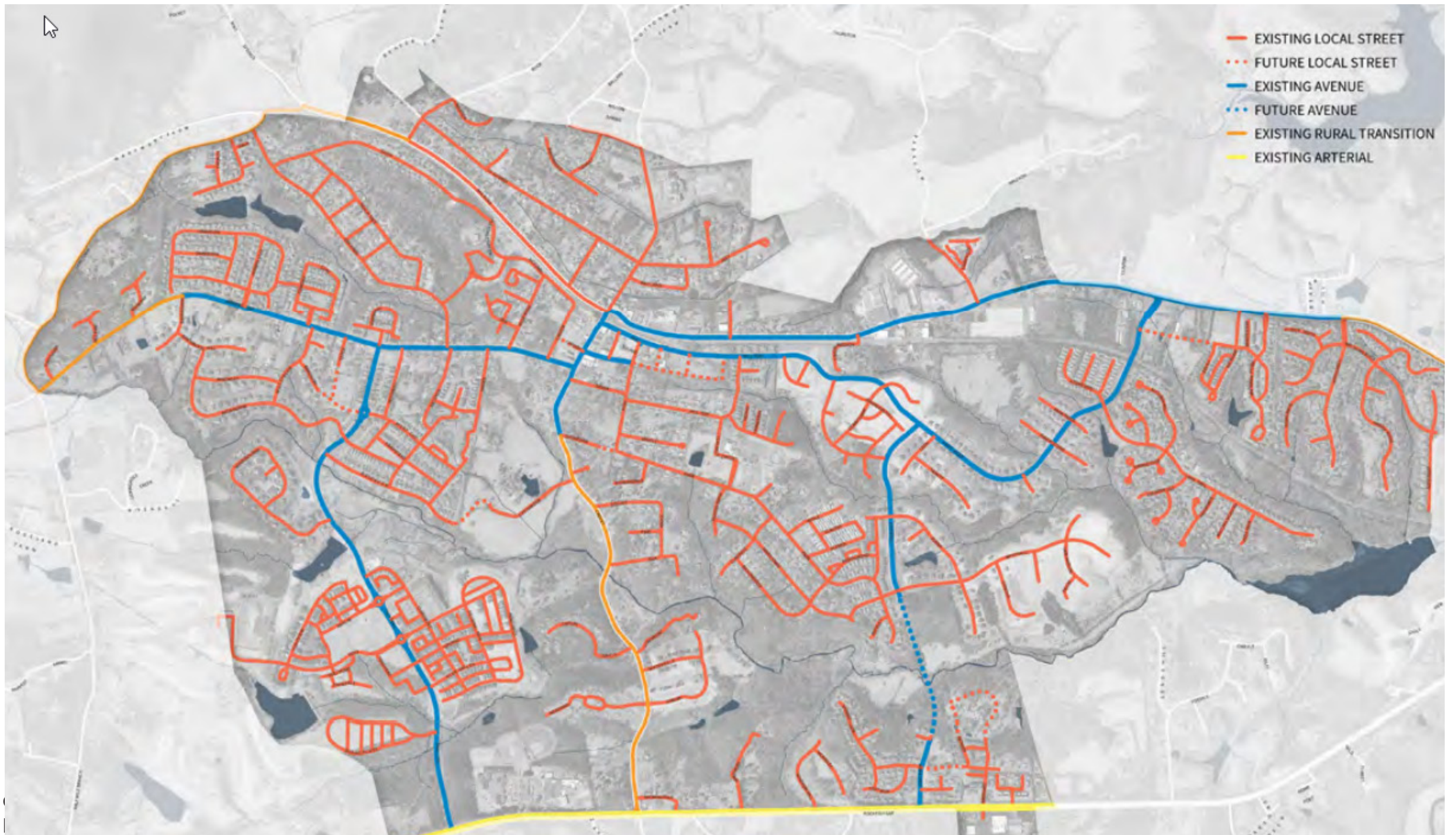
- PROVIDE TRAILS AND WALKWAYS AWAY FROM ROADS
- PROVIDE IMPROVED SIDEWALKS WITH CURB AND GUTTER ADJACENT TO PARKING
- AT MAJOR VEHICULAR CROSSINGS, PROVIDE ELEVATED CROSSWALKS

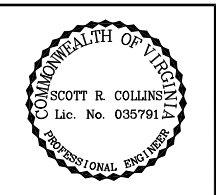
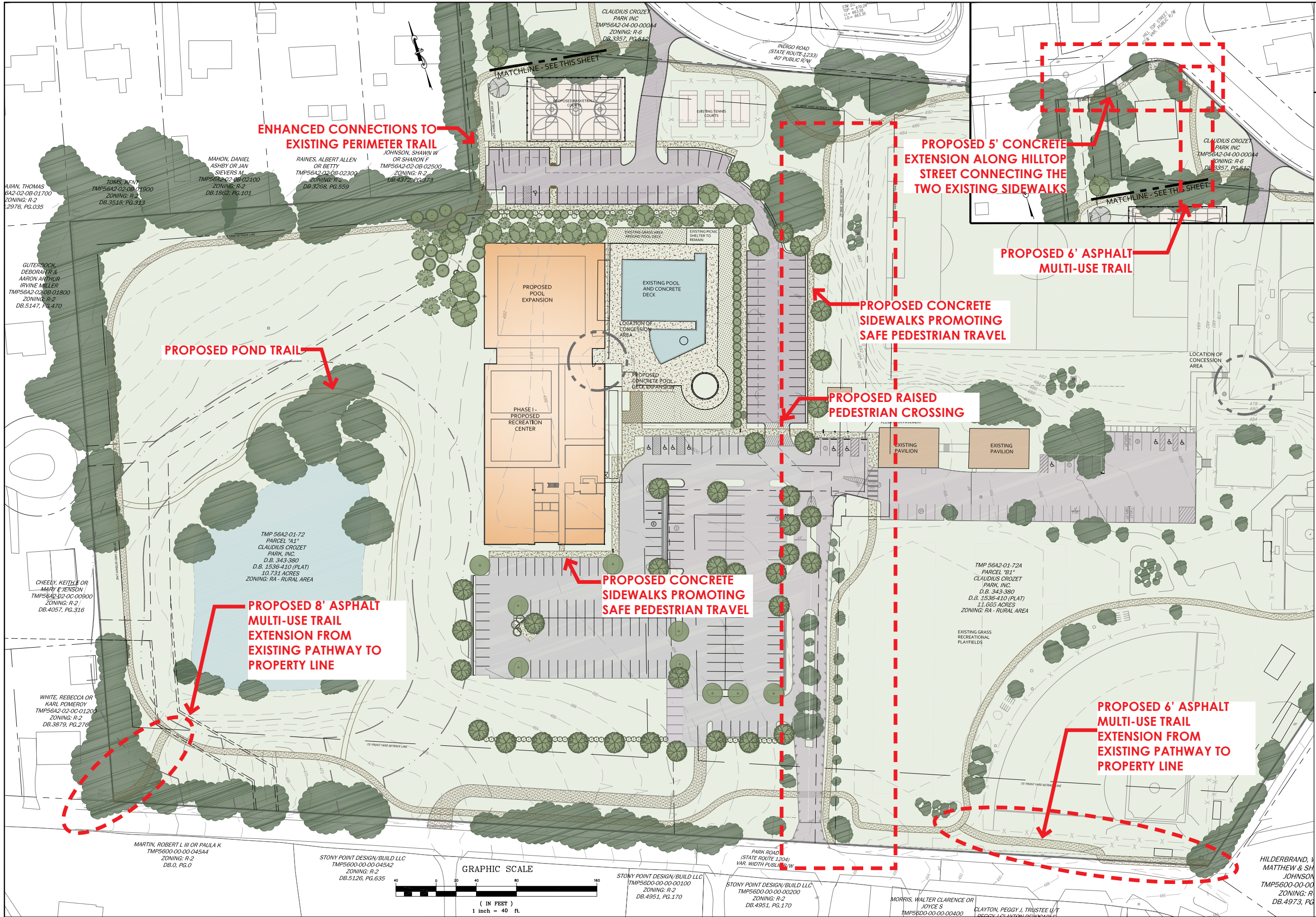
LOCATION LOCATION LOCATION

- PROVIDE MUCH NEEDED COMMUNITY SERVICE FACILITIES WITHIN A CENTRAL LOCATION TO DOWNTOWN CROZET




CROZET PARKS AND GREEN SYSTEMS
PLAN FROM THE MASTER PLAN





REVISIONS	
DATE	REVISION DESCRIPTION
8/17/20	INITIAL SPECIAL USE PERMIT SUBMITTAL
11/16/20	ADDRESSED COUNTY COMMENTS DATED 10/5/20 AND RESUBMITTAL FOR PC MEETING
05/16/21	UPDATED PLAN BASED ON COMMENTS FROM THE PC MEETING

**COLLINS ENGINEERING**

200 GARRETT STREET, SUITE K. - CHARLOTTESVILLE, VA 22902 - 434.293.3719

PROJECT

CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN

SHEET TITLE

OVERALL CONCEPTUAL SITE PLAN

JOB NO.

142103

SCALE

1"=40'

SHEET NO.

3

These plans and associated documents are the exclusive property of COLLINS ENGINEERING and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of COLLINS ENGINEERING.

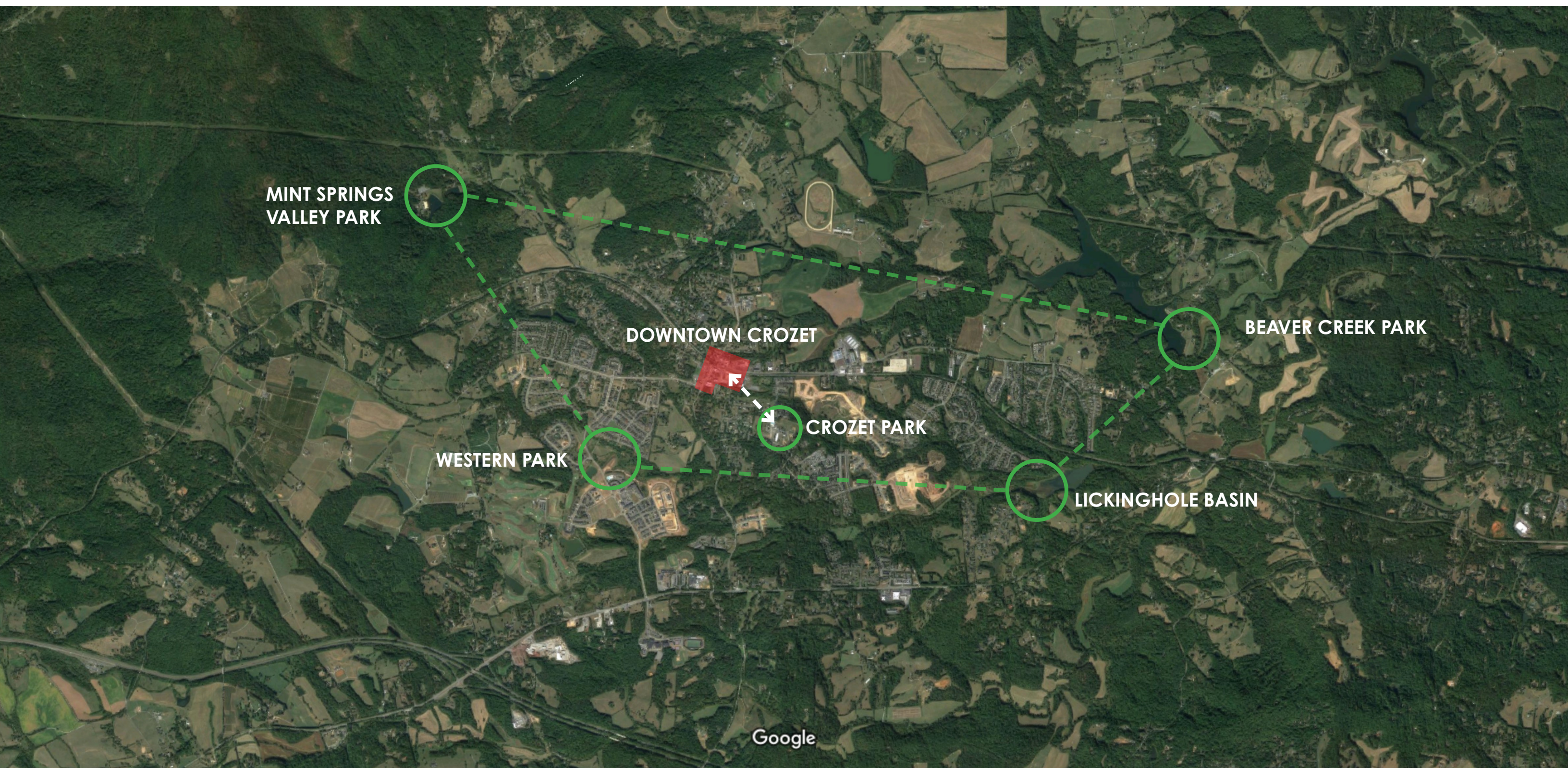
PARKING REQUIRED:

FACILITY	BASIS FOR CALCULATION	REQUIRED PARKING SPACES
BASEBALL FIELDS A,B,&C	3 FIELDS @ 20 SPACES/FIELD	60 SPACES
SWIMMING POOL	4,838 SF WATER SURFACE MAIN POOL @ 1/125 SF	39 SPACES
HORSESHOE PITS	3 PITS @ 2 SPACES/COURT	6 SPACES
KIDS TENNIS COURTS	3 COURTS @ 1 SPACE/COURT	3 SPACES
SOCCER FIELD	1 FIELD @ 24 SPACES/FIELD	24 SPACES
PAVILIONS A & B	4,811 SF @ 1 SPACE/75 SF	64 SPACES
COMMUNITY BUILDING	(DELETED WITH THIS PROJECT)	(46 SPACES (REMOVED))
RECREATION CENTER	20,250 SF @ 1 SPACE/125 SF	162 SPACES
MEETING ROOM	1,620 SF @ 1 SPACE/75 SF	22 SPACES
TOTAL PARKING REQUIRED = 380 SPACES		
10% REDUCTION FOR URBAN PARK = 380 SPACES – 38 SPACES = 342 SPACES		
PARKING PROVIDED: 292 SPACES		
SHARED PARKING (APPROVED COOPERATIVE PARKING AGREEMENT)= 50 SPACE REDUCTION		

- NOTE:
- 1. ADDITIONAL AREA IS AVAILABLE FOR THE EXPANSION OF THE PARKING AND OVERFLOW PARKING FOR SPECIAL EVENTS.
 - 2. FINAL PARKING ANALYSIS AND PARKING STUDY SHALL BE PROVIDED WITH THE FINAL SITE PLAN TO ENSURE ADEQUATE PARKING FOR PHASE I AND PHASE II.







MINT SPRINGS
VALLEY PARK

DOWNTOWN CROZET

BEAVER CREEK PARK

WESTERN PARK

CROZET PARK

LICKINGHOLE BASIN

Google

