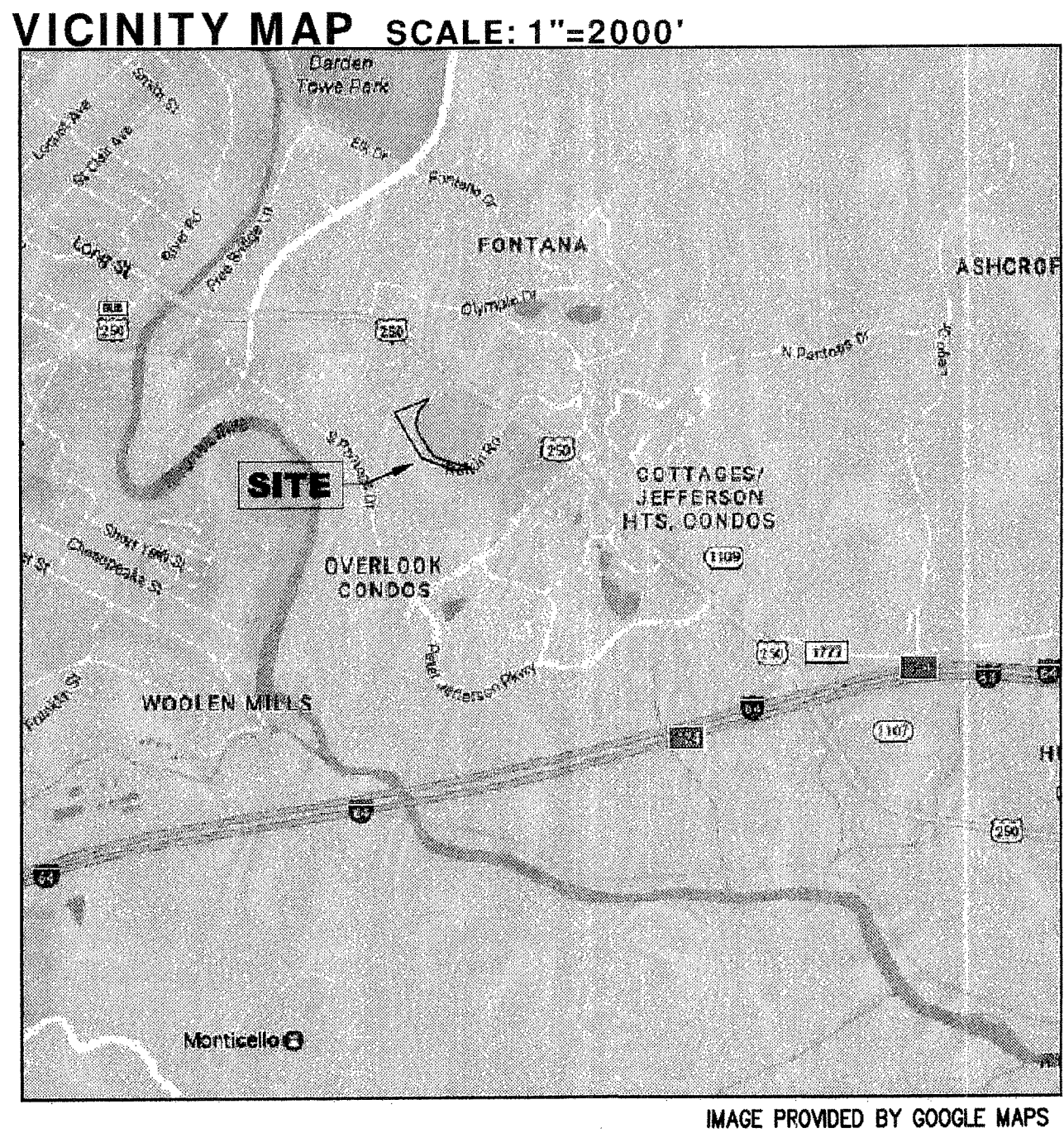


FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
TMP 07800-00-00-073AB, SDP 201800003
RIVANNA DISTRICT, ALBEMARLE COUNTY, VIRGINIA

LEGEND		
EXIST	NEW	DESCRIPTION
16" TC	x 12" TC	TOP OF CURB ELEVATION
16" S	x 12" S	SPOT ELEVATION
16" TW	x 12" TW	TOP OF WALL ELEVATION
16" BW	x 12" BW	BOTTOM OF WALL ELEVATION
⊕		BENCHMARK
---	---	STORM SEWER
---	---	ROOF DRAIN
---	---	SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	OVERHEAD ELECTRIC WIRE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD TELEPHONE LINE
---	---	UNDERGROUND TELEPHONE LINE
---	---	GAS CONDUIT
□	○	DRAIN INLET (DI)
□	○	STORM/SANITARY MANHOLE
□	□	PLUG
⊕	⊕	WATER VALVE & BOX
⊕	⊕	FIRE HYDRANT
⊕	⊕	WATER METER
⊕	⊕	LIGHT POLE
⊕	⊕	UTILITY POLE
---	---	PROPERTY LINE
---	---	ADJACENT PROPERTY LINE
---	---	VACATED PROPERTY LINE
---	---	BUILDING SETBACK
---	---	PARKING SETBACK
---	---	SANITARY EASEMENT
---	---	CONSTRUCTION EASEMENT
---	---	DRAINAGE EASEMENT
---	---	UTILITY EASEMENT
---	---	WATER EASEMENT
---	---	ACCESS EASEMENT
---	---	STORM DRAINAGE EASEMENT
---	---	GAS LINE EASEMENT
---	---	LANDSCAPING EASEMENT
---	---	TREE LINE
---	---	FENCE
---	---	STREAM
---	---	INTERVAL CONTOUR
---	---	INDEX CONTOUR
CG-2	CG-2	STANDARD 6" CURB
CG-6	CG-6	COMBINATION 6" CURB & GUTTER
---	---	CONCRETE PAVEMENT / SIDEWALK
---	---	RIPRAP
---	---	ASPHALT
---	---	GRASS
---	---	EC-2 MATTING
---	---	EC-3 MATTING
---	---	WETLAND
⊕	⊕	PARKING COUNT
---	---	CROSSWALK
---	---	HANDICAP ACCESSIBLE AISLE
CG-12	CG-12	HANDICAP PARKING

NOTE:
1. THE SIZE OF THE SYMBOLS MAY VARY FROM WHAT IS SHOWN.



SHEET INDEX	
SHEET C1 - COVER SHEET	
SHEET C2 - PROFFERS	
SHEET C3 - EXISTING CONDITIONS & DEMO	
SHEET C4 - EXISTING EASEMENTS	
SHEET C5 - SITE OVERVIEW / SIGHT DISTANCE LINES	
SHEET C6 - SITE PLAN	
SHEET C7 - UTILITY PLAN	
SHEET C8 - GRADING PLAN	
SHEET C9 - LANDSCAPING PLAN	
SHEET C10 - LANDSCAPING PLAN & DETAILS	
SHEET C11 - LIGHTING PLAN	
SHEET C12 - DRAINAGE MAP	
SHEET C13 - STORMPIPE PROFILES AND DETAILS	
SHEET C14 - WATER & SEWER PROFILES AND DETAILS	
SHEET C15 - SITE DETAILS	
SHEET C16-19 - RETAINING WALL DETAILS	

SIGNATURE BLOCK		DATE
CURRENT DEVELOPMENT PLANNER		12/18/18
CURRENT DEVELOPMENT ENGINEER		12/12/18
ALBEMARLE COUNTY SERVICE AUTHORITY		12/17/18
FIRE OFFICIAL		12/18/18
ARCHITECTURAL REVIEW BOARD		12/17/18
BUILDING OFFICIAL		12/12/18
VIRGINIA DEPARTMENT OF TRANSPORTATION		

OWNER / DEVELOPER

Owner: Point Church
1428 Greenbrier Place
Charlottesville VA, 22901

Developer: Core Real Estate and Development
195 Riverbend Drive
Charlottesville VA, 22911

ZONING

Planned Development Mixed Commercial
Entrance Corridor (EC)
Sleep Slopes - Managed

Parcel, Owner Impacted by Site Plan:
78-73AA, Albemarle Land LLC
78-73B1+1, Hansen Road Professional Center LLC et al.
78-3A6+, Virginia School Boards Association et al.

Original Approved ZMA 1998-20
Amended ZMA 2002-08

Owner Subject to Four Party Road Improvement
Agreement dated 09/21/1998, Deed Book 1899 Pg. 402

LEGAL REFERENCE

TMP 07800-00-00-073AB - DB 4416 PG 460
DB 4786/17 PLAT

BENCHMARK

Benchmark for topographic survey is the top of a sewer
manhole located northeast of the site.
Elev. = 536.95'
Datum: NAVD88

SOURCE OF
BOUNDARY & TOPO

Boundary & topographic survey information provided by:
Commonwealth Land Surveying
319 Rio Road W
Charlottesville, VA 22901
2/6/17
Additional topography provided by Albemarle County GIS

BUILDING HEIGHT

Maximum: 65'
Floors above 40' or the third story shall be stepped back
a minimum of 15' from the front of the building.
Proposed Height:
(Church) 34'

SETBACKS

Front Max: 30' from right of way or exterior edge of
sidewalk if outside right of way
Front Min: 10' from right of way or exterior edge of
sidewalk if outside right of way
*Note: Setbacks shown on the plans are measured from
the private street easement from both Rolkin Road and
Hansen Road
Side & Rear: Adjacent to RA district boundary, residential,
or Monticello Historic District
Building Min. 50', Max. None
Parking Min. 20', Max. None
Adjacent to commercial or industrial
Structure shall be constructed and separated in
accordance with current edition of Building Code.

EXISTING USE

Vacant Land

PROPOSED USE

19,680 SF Church w/ Associated Parking.
Per ZMA2002-00008, the structure is limited to a maximum
of 20,000 SF gross floor area. The gross floor area includes
basement, elevator shafts and stairwells at each story, floor
space used for mechanical equipment with structural
headroom of six (6) feet, six (6) inches or more; penthouses;
attic space, whether or not a floor has actually been laid,
providing structural headroom of six (6) feet, six (6) inches
or more; interior balconies; and mezzanines.

As noted on the Site Plan sheet, the basement includes
3,624 SF of area that will be no greater than six (6) feet,
four (4) inches. Zoning has determined that this may be
excluded from gross floor area calculation. Please note that
all building permit plans submitted must show no more than
20,000 SF gross floor area.

FLOOD ZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005
(Community Panel 51003C0289D), this property does not lie within the Zone AE
100-year flood plain.

PARKING SCHEDULE

Proposed Use: Religious Assembly Use
Required Parking: more than 100 = 1 space per 3 fixed seats or per 75 SF of area of
assembly, whichever is greater.
Area of Assembly = 4,334 SF / 75 SF = 58 Parking Spaces
Number of Fixed Seats = 563 Seats / 3 = 188 Parking Spaces Required
Provided on Property Parking, Not on Street = 160 Spaces (Includes 7 HC)
Provided on Property Parking on Street = 26 Spaces
Provided Off Property Street Parking = 20 Spaces
Total Parking Provided = 206 Spaces

WATER & SANITARY SERVICES

All water and sanitary sewer services are to be provided by Albemarle County
Service Authority.

Backflow prevention measures shall be installed in accordance with ACSA
Standards.

WATERSHED

This site is not located within a water supply protection area.

LIGHTING

Proposed lighting and photometrics are included on Sheet C10.

LAND USE SCHEDULE

EXISTING	Area	%
Road	29,833 SF	11.15%
Sidewalk	10,839 SF	4.05%
Open space	226,863 SF	84.80%
Total=	267,535 SF (6.14 ac.)	

PROPOSED	Area	%
Building	11,402 SF	8.19%
Pavement	109,816 SF	78.91%
Walkways	17,948 SF	12.90%
Impervious area	139,166 SF	52.02%
Open space	128,369 SF	47.98%
Total=	267,535 SF (6.14 ac.)	

SIGNS

All signs shall conform with the MUTCD Guidelines.

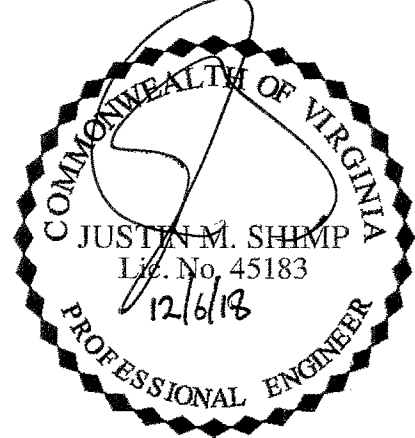
ITE TRIP COUNT

Use Description	ITE	Qty	AM			PM		
			in	out	Total	in	out	Total
Church Sunday Peak Hour	560	19180 SF	92	100	192			
Church Weekday	560	19180 SF	6	6	12	9	6	15

REQUIRED IMPROVEMENTS

In the event that the owner of the adjacent property
TMP 78-73A1, which holds a stormwater easement
across TMP 78-73AB as shown on this site plan, were to
damage or destroy any of the required
improvements shown on this site plan (including but
not limited to parking areas, access aisles, curb and
gutter, retaining walls, landscaping, as well as storm
drain pipes and structures) the owner of TMP
78-73AB would be fully responsible for the
reconstruction of the improvements or in violation of
this site plan.

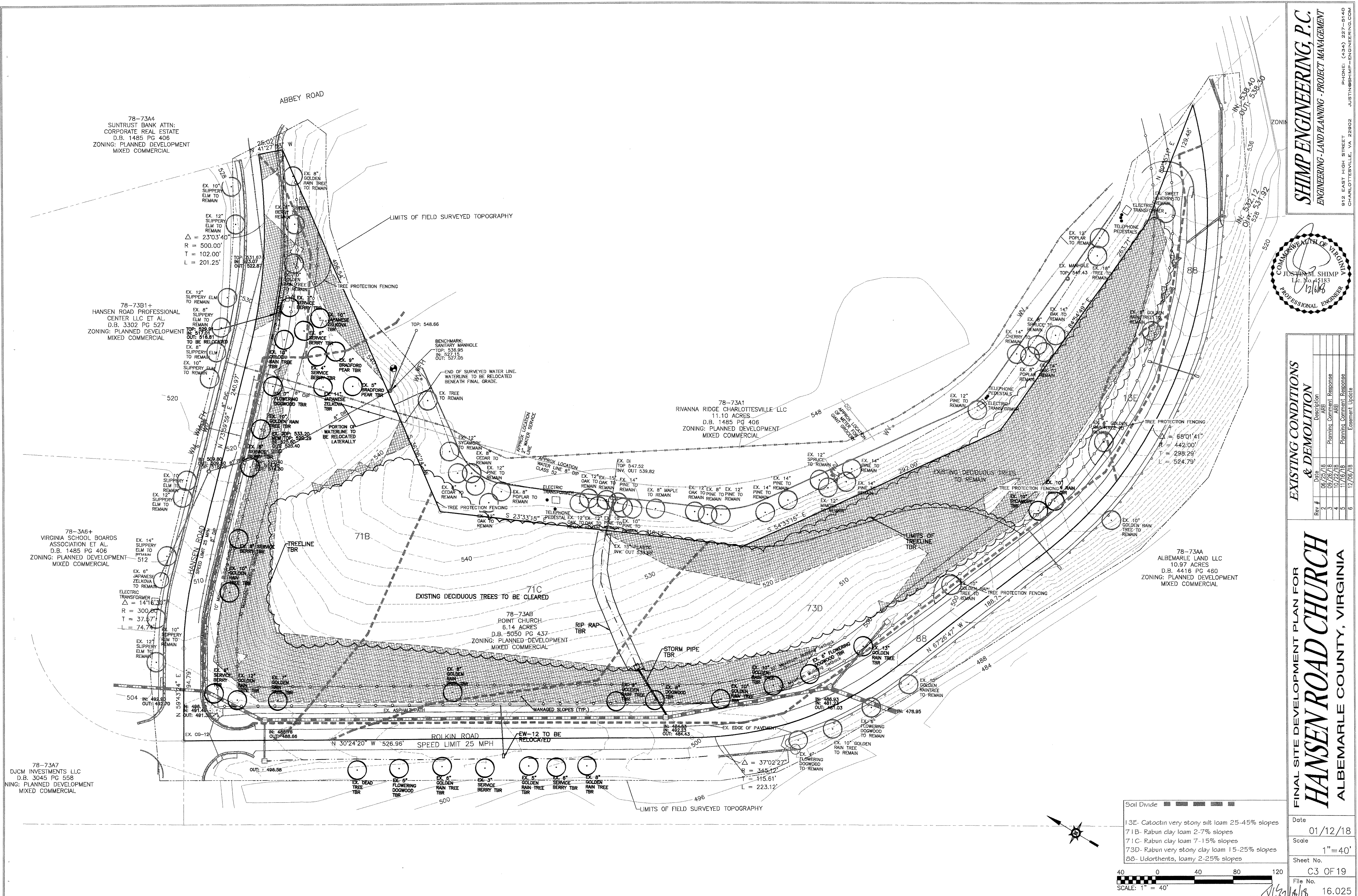
SHIMP ENGINEERING, P.C.
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
PHONE: (434) 227-5140
JUSTIN@SHIMP-ENGINEERING.COM
912 EAST HIGH STREET
CHARLOTTESVILLE, VA 22902



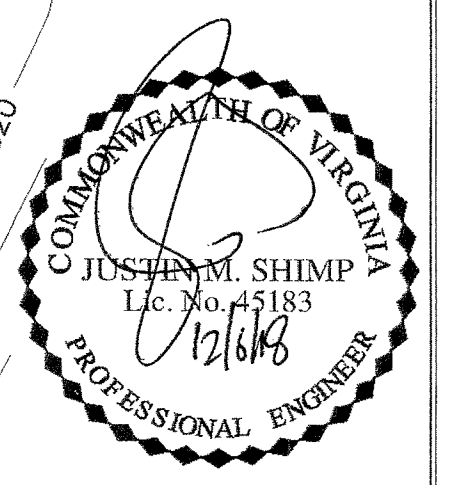
COVER SHEET

FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
ALBEMARLE COUNTY, VIRGINIA

Date	01/12/18
Scale	N/A
Sheet No.	C1 OF 19
File No.	16.025



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ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT
912 EAST HIGH STREET
CHARLOTTESVILLE, VA 22902
PHONE: (434) 227-5140
JUSTIN@SHIMP-ENGINEERING.COM



EXISTING CONDITIONS & DEMOLITION			
Rev. #	Date	Description	
1	06/25/18	ARB	
2	09/26/18	Planning Comment Response	
3	10/22/18	ARB	
4	11/16/18	Planning Comment Response	
5	12/06/18	Revision Update	

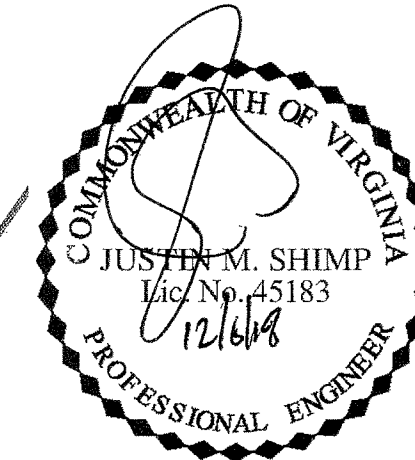
FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
ALBEMARLE COUNTY, VIRGINIA

Date	01/12/18
Scale	1"=40'
Sheet No.	C3 OF 19
File No.	16.025

Soil Divide ■ ■ ■ ■ ■

13E- Catoclin very stony silt loam 25-45% slopes
71B- Rabun clay loam 2-7% slopes
71C- Rabun clay loam 7-15% slopes
73D- Rabun very stony clay loam 15-25% slopes
88- Udorthents, loamy 2-25% slopes

40 0 40 80 120
SCALE: 1" = 40'

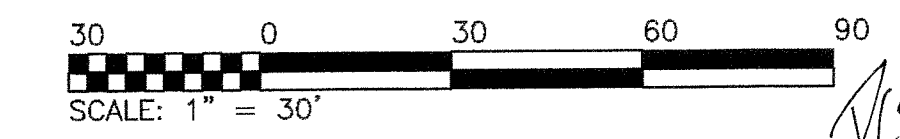
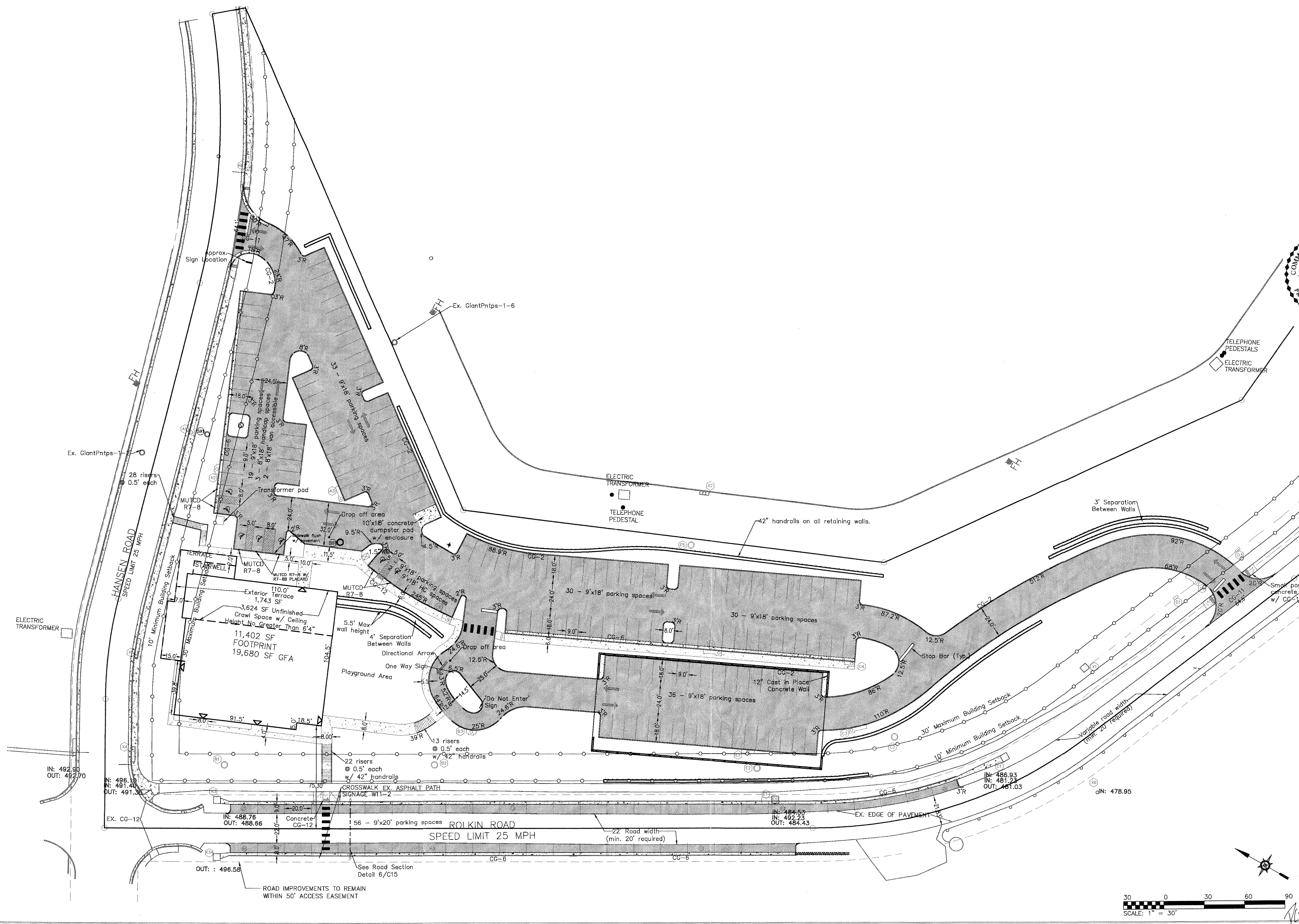


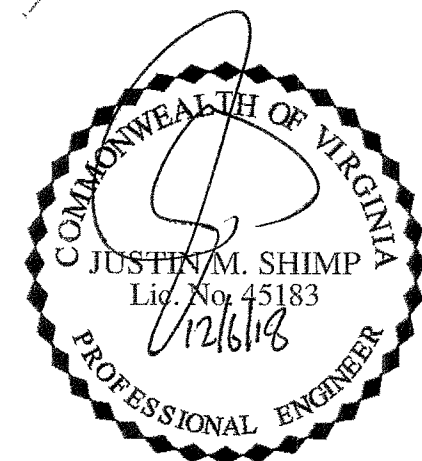
SITE PLAN

Rev #	Date	Description
1	04/25/18	Initial
2	05/05/18	Planning Comment Response
3	09/26/18	ABE
4	10/22/18	Planning Comment Response
5	11/16/18	Easement Update
6	12/06/18	

FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
ALBEMARLE COUNTY, VIRGINIA

Date	01/12/18
Scale	1" = 30'
Sheet No.	C6 OF 19
File No.	16.025



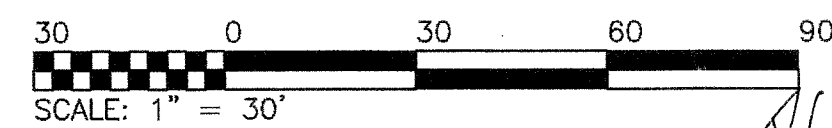
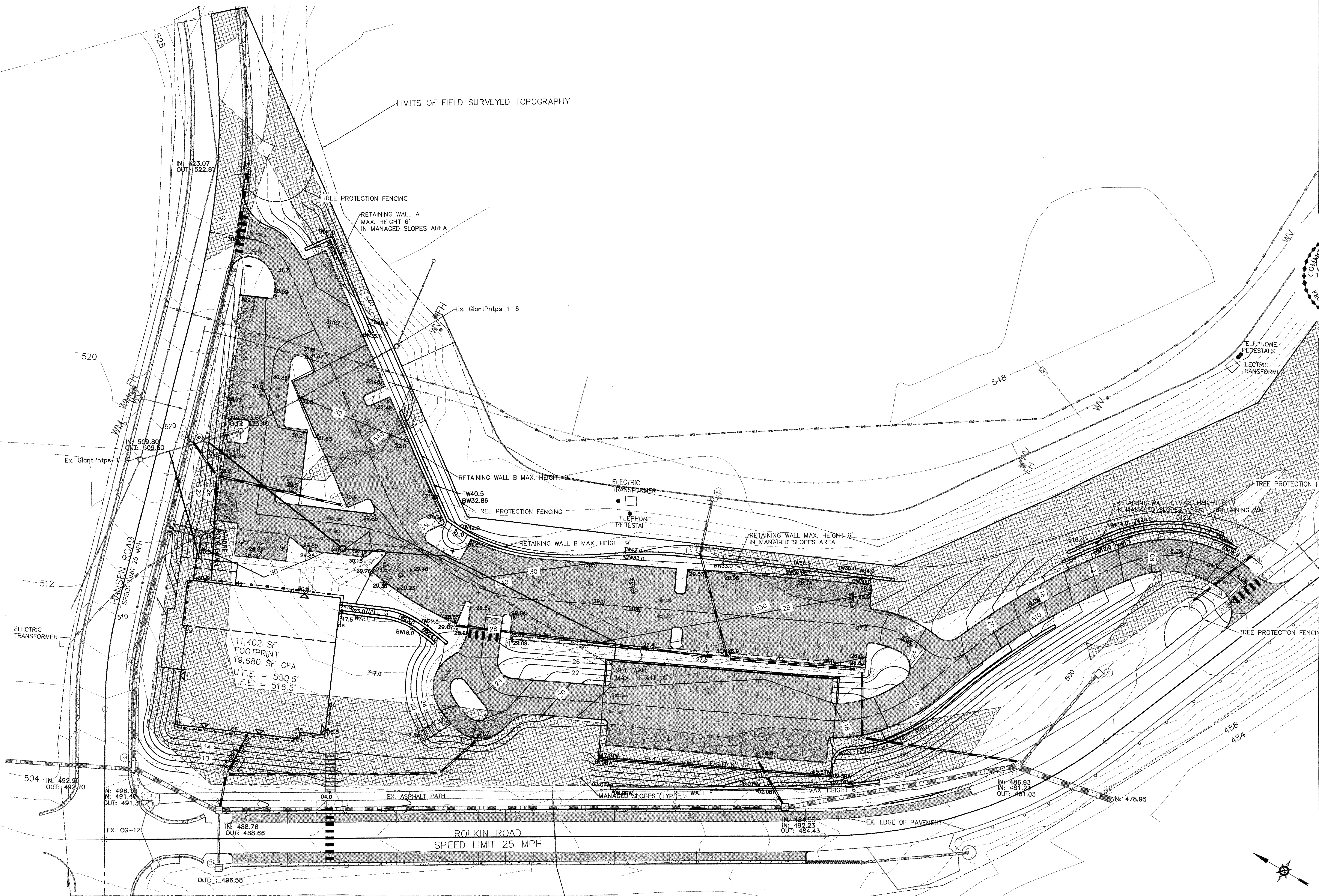


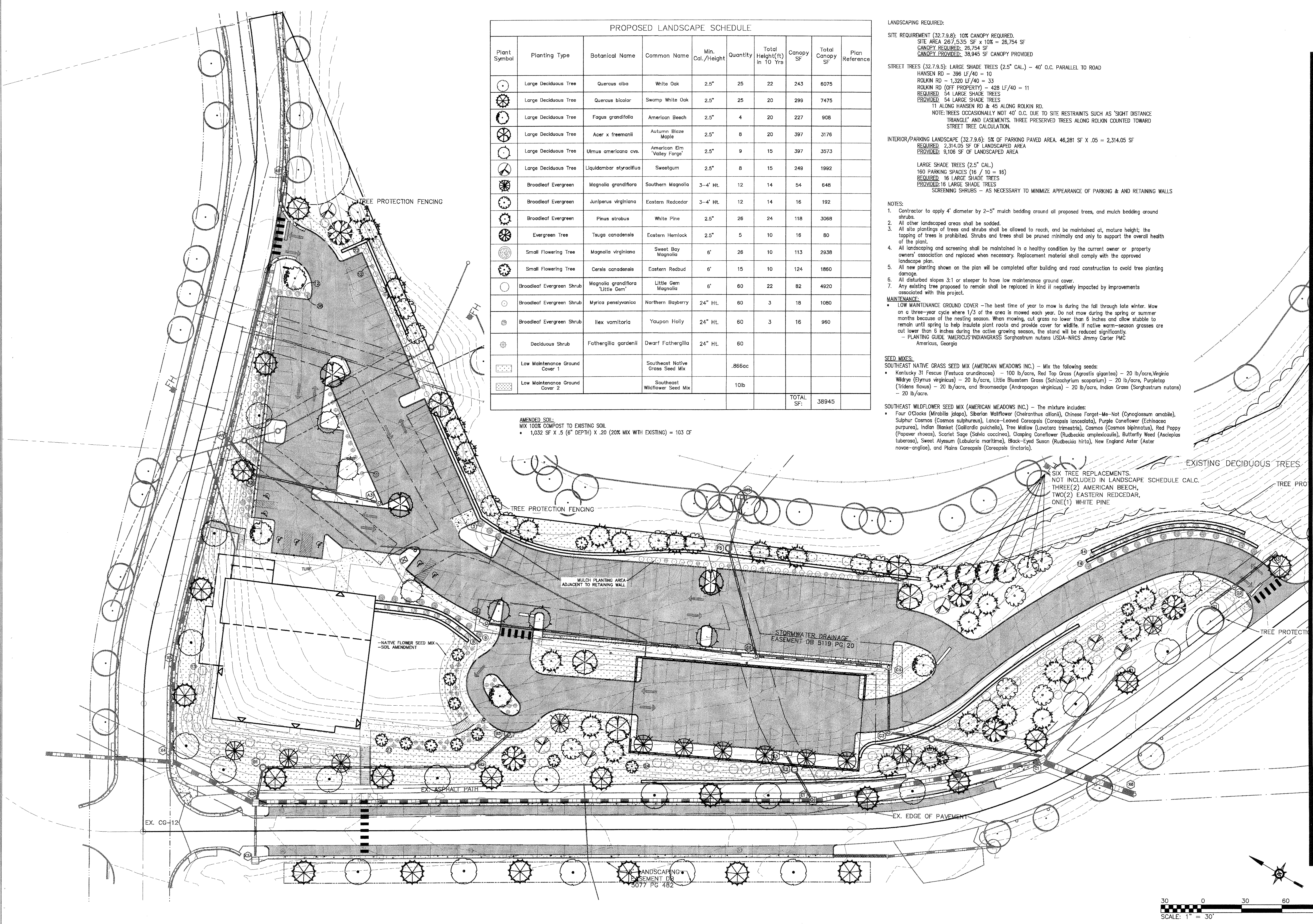
GRADING PLAN

Rev #	Date	Description
1	08/25/18	AMB
2	09/22/18	Planning Comment Response
3	10/22/18	AMB
4	11/16/18	Planning Comment Response
5	12/05/18	ES
6	12/05/18	Essement Update

FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
ALBEMARLE COUNTY, VIRGINIA

Date	01/12/18
Scale	1" = 30'
Sheet No.	C8 OF 19
File No.	16.025





PROPOSED LANDSCAPE SCHEDULE									
Plant Symbol	Planting Type	Botanical Name	Common Name	Min. Cal./Height	Quantity	Total Height(ft) in 10 Yrs	Canopy SF	Total Canopy SF	Plan Reference
●	Large Deciduous Tree	Quercus alba	White Oak	2.5"	25	22	243	6075	
⊗	Large Deciduous Tree	Quercus bicolor	Swamp White Oak	2.5"	25	20	299	7475	
●	Large Deciduous Tree	Fagus grandifolia	American Beech	2.5"	4	20	227	908	
⊗	Large Deciduous Tree	Acer x freemanii	Autumn Blaze Maple	2.5"	8	20	397	3176	
●	Large Deciduous Tree	Ulmus americana cvs.	American Elm 'Valley Forge'	2.5"	9	15	397	3573	
⊗	Large Deciduous Tree	Liquidambar styraciflua	Sweetgum	2.5"	8	15	249	1992	
⊗	Broadleaf Evergreen	Magnolia grandiflora	Southern Magnolia	3-4' Ht.	12	14	54	648	
⊗	Broadleaf Evergreen	Juniperus virginiana	Eastern Redcedar	3-4' Ht.	12	14	16	192	
⊗	Broadleaf Evergreen	Pinus strobus	White Pine	2.5"	26	24	118	3068	
⊗	Evergreen Tree	Tsuga canadensis	Eastern Hemlock	2.5"	5	10	16	80	
●	Small Flowering Tree	Magnolia virginiana	Sweet Bay Magnolia	6'	26	10	113	2938	
●	Small Flowering Tree	Cercis canadensis	Eastern Redbud	6'	15	10	124	1860	
●	Broadleaf Evergreen Shrub	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	6'	60	22	82	4920	
●	Broadleaf Evergreen Shrub	Myrica pensylvanica	Northern Bayberry	24" Ht.	60	3	18	1080	
●	Broadleaf Evergreen Shrub	Ilex vomitoria	Yaupon Holly	24" Ht.	60	3	16	960	
●	Deciduous Shrub	Fothergilla gardenii	Dwarf Fothergilla	24" Ht.	60				
■	Low Maintenance Ground Cover 1		Southeast Native Grass Seed Mix			.866ac			
■	Low Maintenance Ground Cover 2		Southeast Wildflower Seed Mix			10lb			
							TOTAL SF:	38945	

AMENDED SOIL:
MIX 100% COMPOST TO EXISTING SOIL
• 1,032 SF X .5 (6" DEPTH) X .20 (20% MIX WITH EXISTING) = 103 CF

LANDSCAPING REQUIRED:

SITE REQUIREMENT (32.7.9.8): 10% CANOPY REQUIRED.
SITE AREA 267,535 SF x 10% = 26,754 SF
CANOPY REQUIRED: 26,754 SF
CANOPY PROVIDED: 38,945 SF CANOPY PROVIDED

STREET TREES (32.7.9.5): LARGE SHADE TREES (2.5" CAL.) - 40' O.C. PARALLEL TO ROAD

HANSEN RD - 396 LF/40 = 10
ROLKIN RD - 1,320 LF/40 = 33
ROLKIN RD (OFF PROPERTY) - 428 LF/40 = 11
REQUIRED: 54 LARGE SHADE TREES
PROVIDED: 54 LARGE SHADE TREES
11 ALONG HANSEN RD & 45 ALONG ROLKIN RD.

NOTE: TREES OCCASIONALLY NOT 40' O.C. DUE TO SITE RESTRAINTS SUCH AS 'SIGHT DISTANCE TRIANGLE' AND EASEMENTS. THREE PRESERVED TREES ALONG ROLKIN COUNTED TOWARD STREET TREE CALCULATION.

INTERIOR/PARKING LANDSCAPE (32.7.9.6): 5% OF PARKING PAVED AREA. 46,281 SF X .05 = 2,314.05 SF

REQUIRED: 2,314.05 SF OF LANDSCAPED AREA
PROVIDED: 9,106 SF OF LANDSCAPED AREA

LARGE SHADE TREES (2.5" CAL.)
160 PARKING SPACES (16 / 10 = 16)
REQUIRED: 16 LARGE SHADE TREES
PROVIDED: 16 LARGE SHADE TREES
SCREENING SHRUBS - AS NECESSARY TO MINIMIZE APPEARANCE OF PARKING & AND RETAINING WALLS

NOTES:

- Contractor to apply 4" diameter by 2-5" mulch bedding around all proposed trees, and mulch bedding around shrubs.
- All other landscaped areas shall be sodded.
- All site plantings of trees and shrubs shall be allowed to reach, and be maintained at, mature height; the topping of trees is prohibited. Shrubs and trees shall be pruned minimally and only to support the overall health of the plant.
- All landscaping and screening shall be maintained in a healthy condition by the current owner or property owners' association and replaced when necessary. Replacement material shall comply with the approved landscape plan.
- All new planting shown on the plan will be completed after building and road construction to avoid tree planting damage.
- All disturbed slopes 3:1 or steeper to have low maintenance ground cover.
- Any existing tree proposed to remain shall be replaced in kind if negatively impacted by improvements associated with this project.

MAINTENANCE:

- LOW MAINTENANCE GROUND COVER - The best time of year to mow is during the fall through late winter. Mow on a three-year cycle where 1/3 of the area is mowed each year. Do not mow during the spring or summer months because of the nesting season. When mowing, cut grass no lower than 6 inches and allow stubble to remain until spring to help insulate plant roots and provide cover for wildlife. If native warm-season grasses are cut lower than 6 inches during the active growing season, the stand will be reduced significantly.
- PLANTING GUIDE 'AMERICAN' INDIAN GRASS Sorghastrum nutans USDA-NRCS Jimmy Carter PWC Americus, Georgia

SEED MIXES:

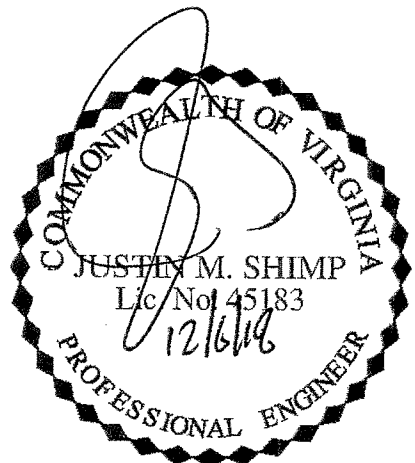
- SOUTHEAST NATIVE GRASS SEED MIX (AMERICAN MEADOWS INC.) - Mix the following seeds:
 - Kentucky 31 Fescue (Festuca arundinacea) - 100 lb/acre, Red Top Grass (Agrostis gigantea) - 20 lb/acre, Virginia Wildrye (Elymus virginicus) - 20 lb/acre, Little Bluestem Grass (Schizachyrium scoparium) - 20 lb/acre, Purpletop (Tridens flavus) - 20 lb/acre, and Broomsedge (Andropogon virginicus) - 20 lb/acre, Indian Grass (Sorghastrum nutans) - 20 lb/acre.

- SOUTHEAST WILDFLOWER SEED MIX (AMERICAN MEADOWS INC.) - The mixture includes:
 - Four O'Clocks (Mirabilis jalapa), Siberian Wallflower (Cheiranthus allionii), Chinese Forget-Me-Not (Cynoglossum amabile), Sulphur Cosmos (Cosmos sulphureus), Lance-Leaved Coreopsis (Coreopsis lanceolata), Purple Coneflower (Echinacea purpurea), Indian Blanket (Gaillardia pulchella), Tree Mallow (Lavatera trimestris), Cosmos (Cosmos bipinnatus), Red Poppy (Papaver rhoeas), Scarlet Sage (Salvia coccinea), Clipping Coneflower (Rudbeckia amplexicaulis), Butterfly Weed (Asclepias tuberosa), Sweet Alyssum (Lobularia maritime), Black-Eyed Susan (Rudbeckia hirta), New England Aster (Aster novae-angliae), and Plains Coreopsis (Coreopsis tinctoria).

SIX TREE REPLACEMENTS.
NOT INCLUDED IN LANDSCAPE SCHEDULE CALC.
THREE(2) AMERICAN BEECH,
TWO(2) EASTERN REDCEDAR,
ONE(1) WHITE PINE

SEE SHEET C10

SHIMP ENGINEERING, P.C.
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913 EAST HIGH STREET
CHARLOTTEVILLE, VA 22802
PHONE: (540) 927-8140
JUSTIN@SHIMP-ENGINEERING.COM



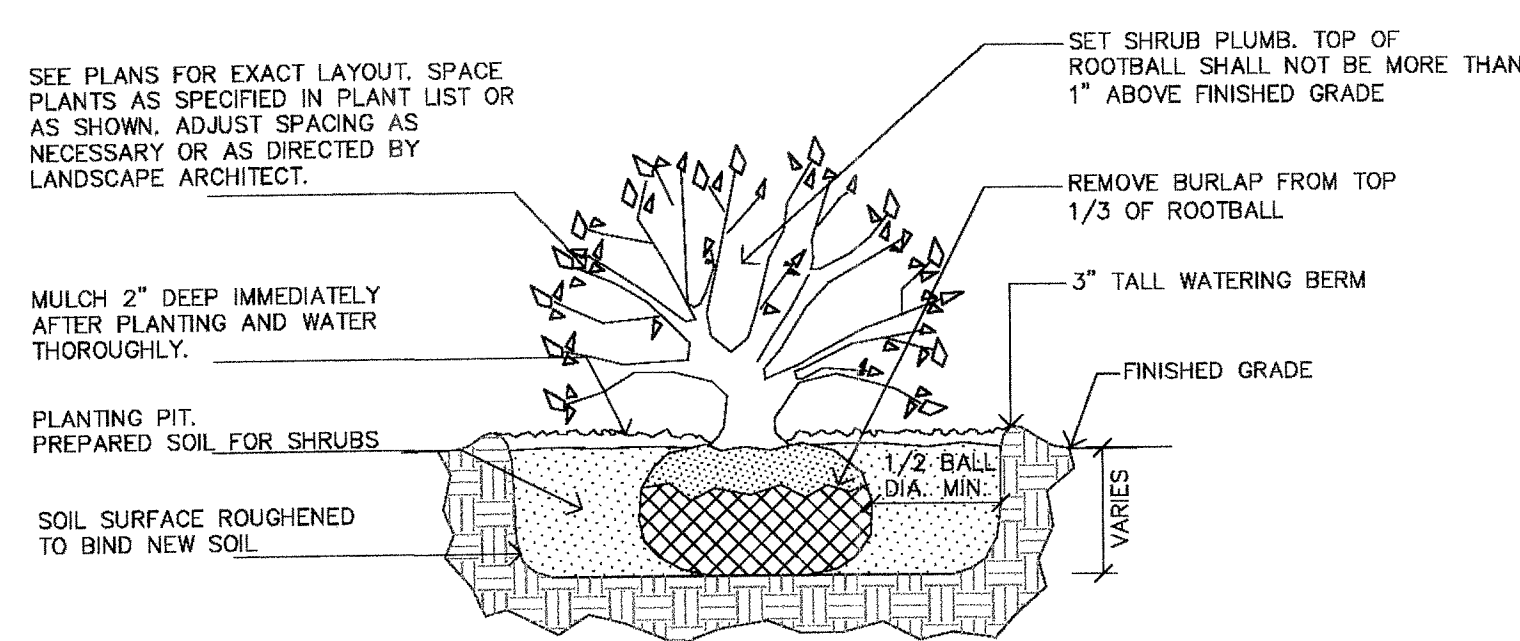
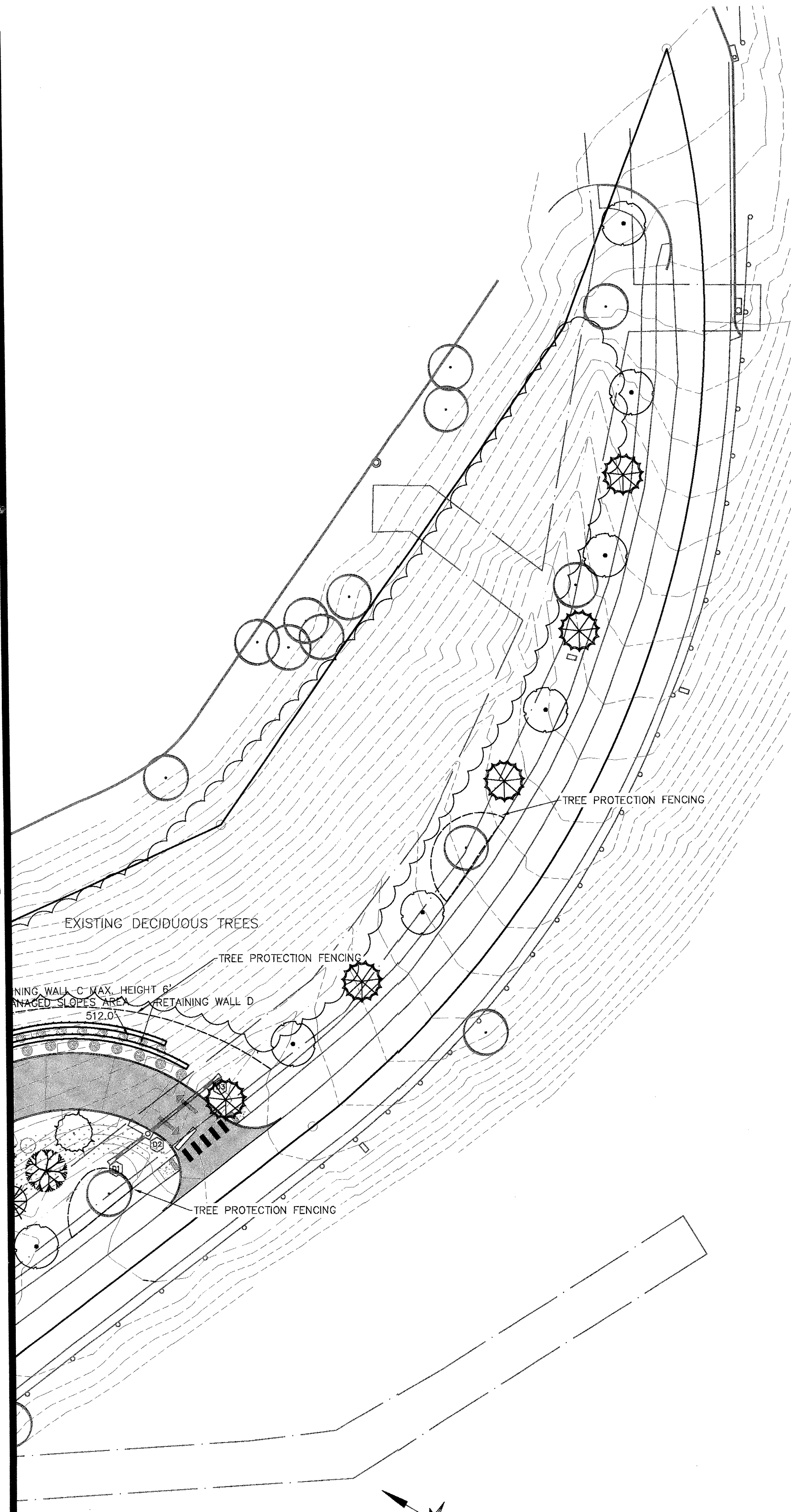
LANDSCAPING PLAN

Rev #	Date	Description
1	06/23/18	ARB
2	06/23/18	Planting Calendar Response
3	10/22/18	ARB
4	11/16/18	Planting Calendar Response
5	11/16/18	Planting Calendar Response
6	12/06/18	Easement Update

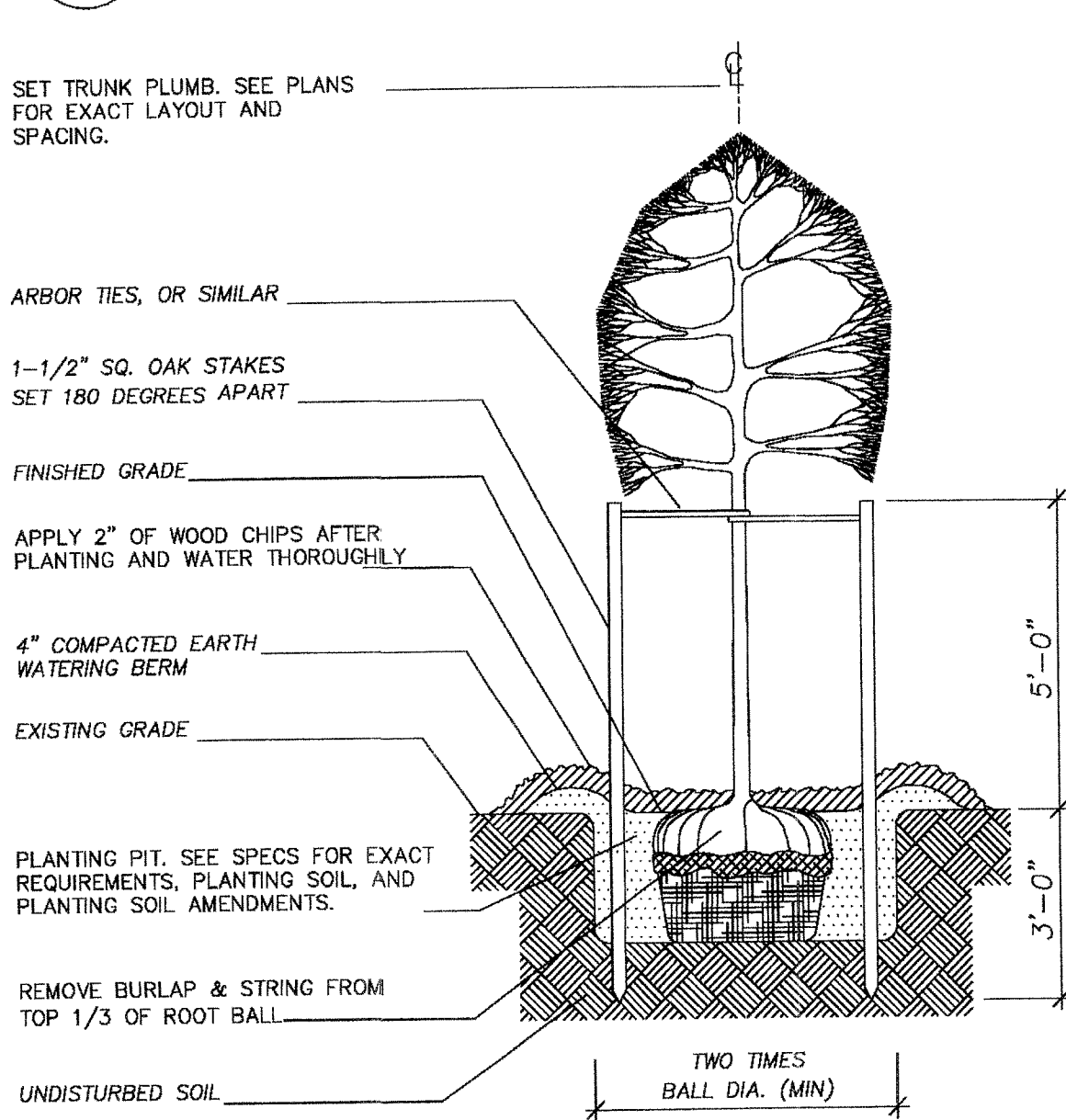
FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
ALBEMARLE COUNTY, VIRGINIA

Date	01/12/18
Scale	1" = 30'
Sheet No.	C9 OF 19
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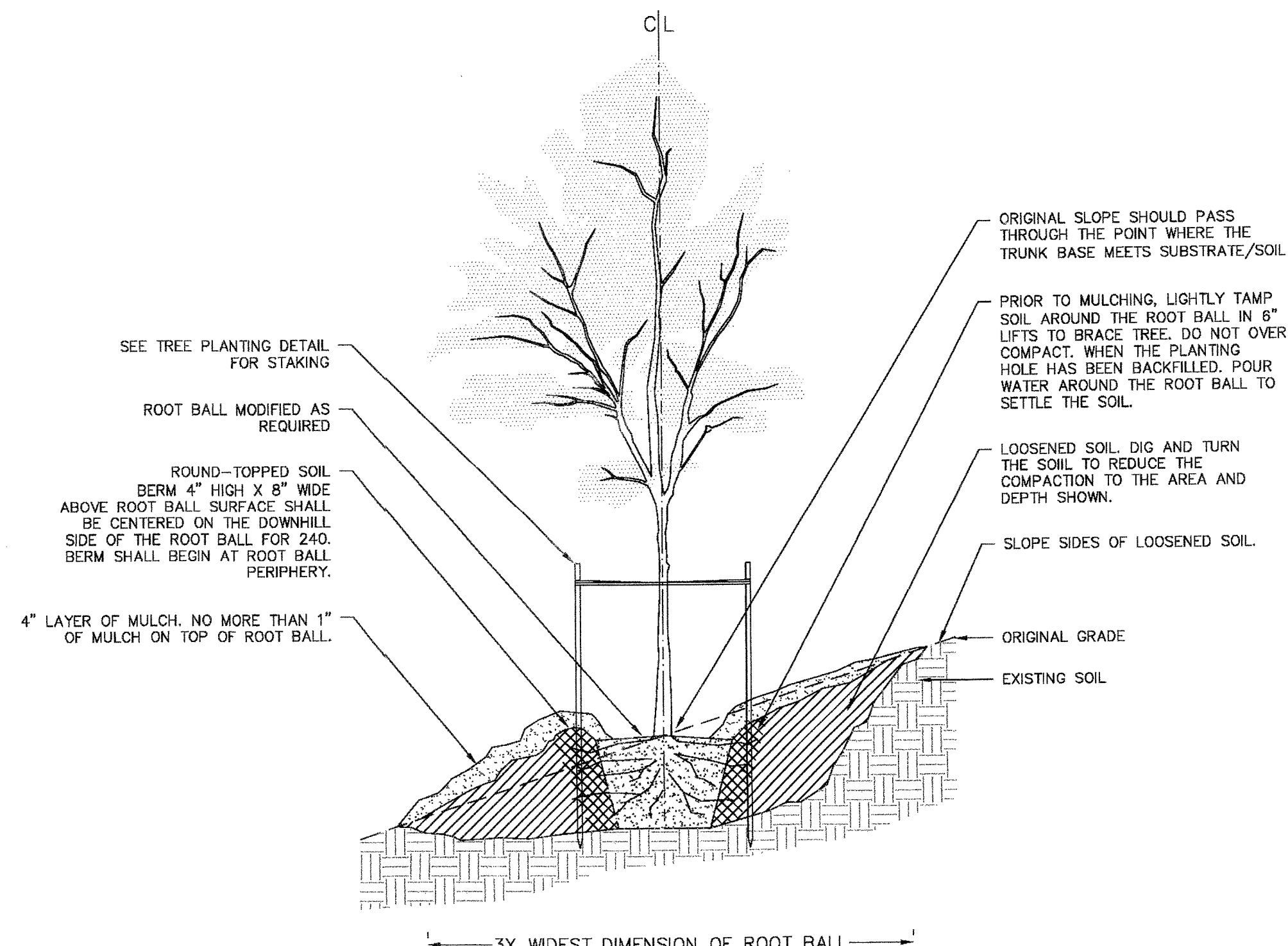
SEE SHEET C9



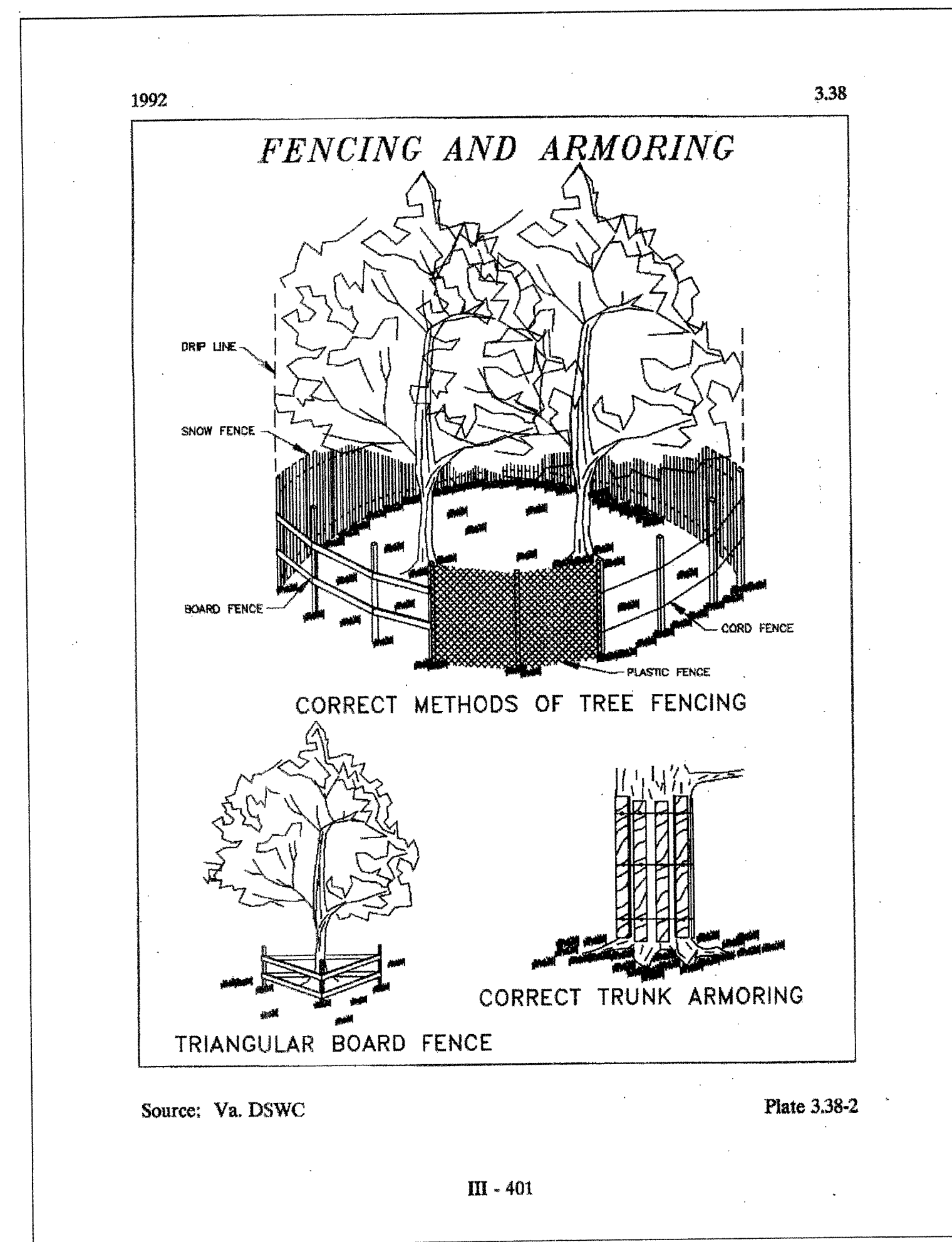
1 SHRUB PLANTING DETAIL
C9 Not To Scale



2 TREE PLANTING DETAIL
C10 Not To Scale



6 TREE ON SLOPE @ 25% (4:1) to 50% (2:1)
C10 Not To Scale



4 TREE PROTECTION FENCING (TP)
C10

County of Albemarle
Conservation Plan Checklist - To be placed on Landscape Plans
(Handbook, pp III-224-III-237 for complete specifications)

1. The following items shall be shown on the plan:
☒ Trees to be saved;
☒ Limits of clearing (outside dripline of trees to be saved);
☒ Location and type of protective fencing;
☒ Grade changes requiring tree wells or walls;
☒ Proposed trenching or tunneling beyond the limits of clearing.

2. Markings:
☒ All trees to be saved shall be marked with print or ribbon at a height clearly visible to equipment operators.
☒ No grading shall begin until the tree marking has been inspected and approved by a County Inspector.

3. Pre-Construction Conference:
☒ Tree preservation and protection measures shall be reviewed with the contractor on site.

4. Equipment Operation and Storage:
☒ Heavy equipment, vehicle traffic and storage of construction materials including soil shall not be permitted within the driplines of trees to be saved.

5. Soil Erosion and Stormwater Detention Devices:
☒ Such devices shall not adversely affect trees to be saved.

6. Fills:
☒ Fills are not permitted within 100 feet of the dripline of trees to be saved.

7. Toxic Materials:
☒ Toxic materials shall not be stored within 100 feet of the dripline of trees to be saved.

8. Protective Fencing:
☒ Trees to be retained within 40 feet of a proposed building or grading activity shall be protected by fencing.
☒ Fencing shall be in place and shall be inspected and approved by a County Inspector prior to grading or construction.

9. Tree Walls:
☒ When the ground level must be raised within the dripline of a tree to be saved, a tree wall shall be provided and a construction detail submitted for approval.

10. Tree Walls:
☒ When the ground level must be lowered within the dripline a tree to be saved, a tree wall shall be provided; and a construction detail submitted for approval.

11. Trenching and Tunneling:
☒ When trenching is required within the limits of clearing, it shall be done as far away from the trunks of trees as possible. Tunneling under a large tree shall be considered as an alternative when it is anticipated that necessary trenching will destroy feeder roots.

12. Cleanup:
☒ Protective fencing shall be the last items removed during the final cleanup.

13. Damaged Trees:
☒ Damaged trees shall be treated immediately by pruning, fertilization or other methods recommended by a tree specialist.

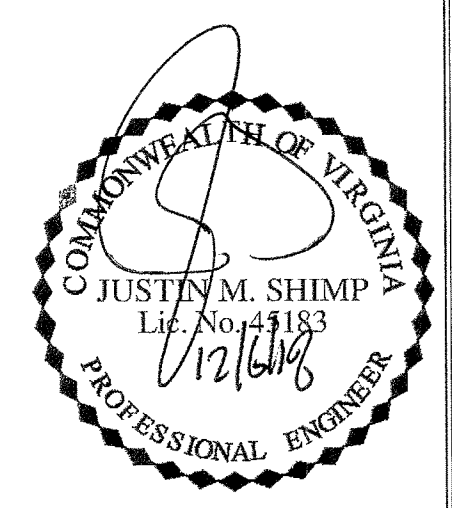
NOTE: IT IS THE DEVELOPER'S RESPONSIBILITY TO CONFER WITH THE CONTRACTOR ON TREE CONSERVATION REQUIREMENTS.

OWNER SIGNATURE _____ DATE 06/13/2018

CONTRACT PURCHASER SIGNATURE _____ DATE 5/1/06 Page 1 of 1

5 CONSERVATION PLAN CHECKLIST
C10

SHIMP ENGINEERING, P.C.
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LANDSCAPING PLAN & DETAILS

Rev #	Date	Description
1	06/25/18	ARB
2	09/26/18	ARB
3	10/22/18	ARB
4	11/16/18	ARB
5	12/06/18	Easement Update

FINAL SITE DEVELOPMENT PLAN FOR
HANSEN ROAD CHURCH
ALBEMARLE COUNTY, VIRGINIA

Date	01/12/18
Scale	1" = 30'
Sheet No.	C10 OF 19
File No.	16.025