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February 28, 2018

Paty Saternye
Senior Planner
Albemarle County Community Development Department
Planning Services
401 McIntire Road
Charlottesville, Virginia 22902

**75RE: Cascadia – Blocks 1-3 (Towne District) Final Site Plan - SDP 2014-00075 -
Variation Request Letter for Block 1 Permitted Uses**

Dear Paty,

Please consider the attached revised Site Plan Sheets 1, 2 and 6 and this revised letter of justification as our formal request to vary Table A – Uses Permitted by Block on Page 9 of the Code of Development (COD) to include single-family detached as a permitted use within Block 1. The developer is proposing to change from 8 duplex units on Lots 259-266 to 8 single family detached units on the same lots with no adjustments to the plat or infrastructure.

- 1) The referenced Site Plan is currently approved with 20% Single Family Detached product, or 24 out of 120 units in Blocks 1-3. The current market trend is for SFD, and the variation would increase the mix to 32 out of 120 units, or 26.7% SFD. The COD envisioned less overall detached product in Blocks 1-3, so the relatively low percentage still achieves that goal.
- 2) There will be no change in the density, the site infrastructure or platted lot lines to make the change. In fact, the revision will be barely noticeable since the revision incorporates 3' side yards.
- 3) The COD does call out for taller buildings in Block 1, prescribing a maximum height of 50 feet. The Single Family Detached Units will be 2 stories-high while the duplex units were a 1-1/2 story-high product.

We thank you for taking the time to review this request. Please let me know if you have any questions or require additional information.

Very truly yours,

Michael Myers, P.E.

Attachments
Cc: Charlie Armstrong
Keith Lancaster

LETTER OF REVISION FOR CASCADIA - BLOCKS 1 - 3

TM 62, PARCEL 25

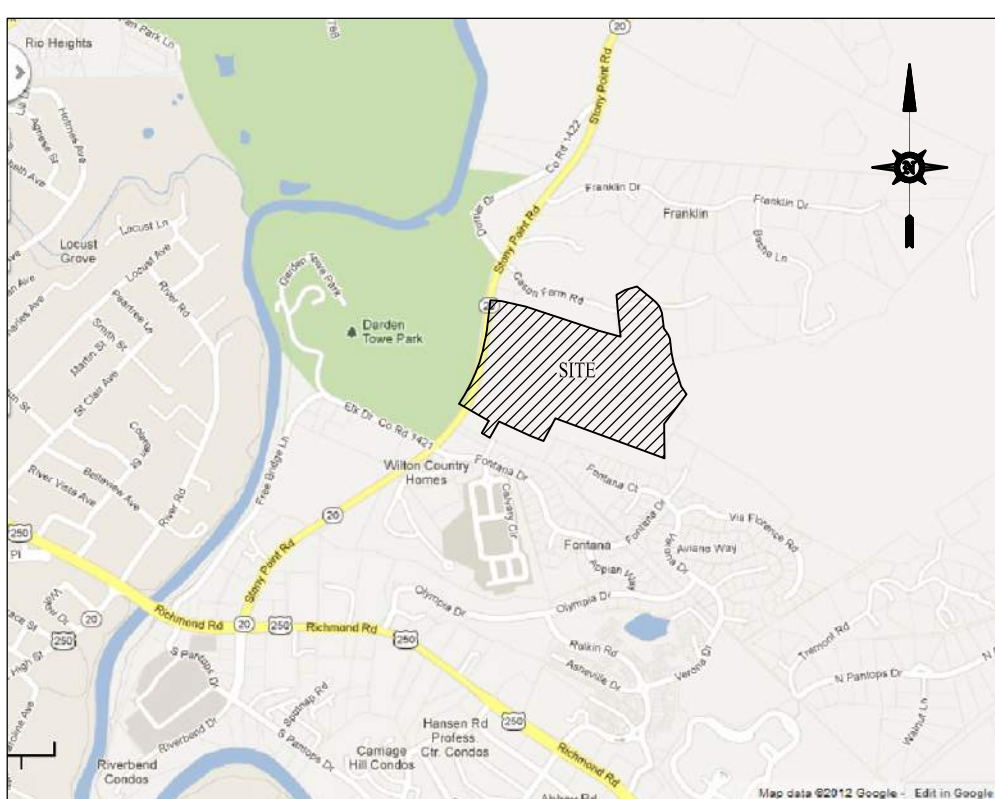
TM 78, PARCELS 59 & 59A

TM 78E, PARCEL H1

RIVANNA DISTRICT, ALBEMARLE COUNTY, VIRGINIA

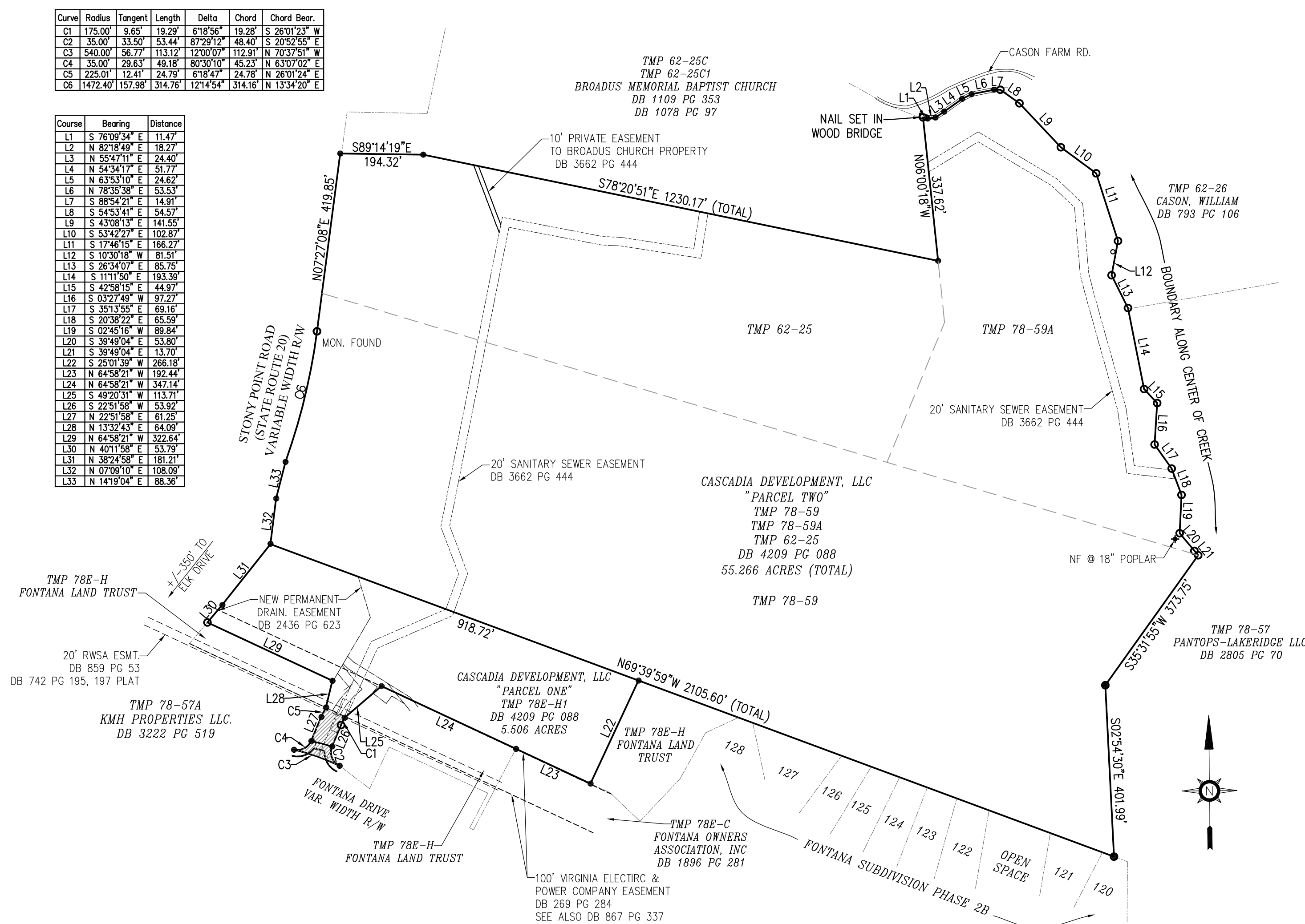
VICINITY MAP

SCALE: 1" = 2000'



PARCEL OVERVIEW

SCALE: 1" = 200'



SHEET INDEX

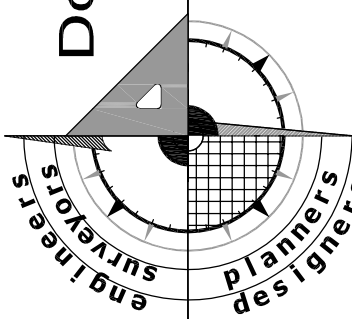
- SP1 Cover Sheet
- SP2 Notes, Abbreviations, & Legend
- SP3 Road Sections & Code of Development Tables
- SP4 Existing Conditions
- SP5 Subdivision Overview
- SP5A Building Block Plan / Phasing Plan
- SP6 Site Plan
- SP7 Site Plan
- SP8 Site Plan
- SP9 Site Plan
- SP10 Road and Waterline Plan - Cascadia Drive
- SP11 Road and Waterline Plan - Delphi Lane
- SP12 Road and Waterline Plan - Marietta Drive
- SP13 Road and Waterline Plan - Delphi Drive
- SP14 Road and Waterline Plan - Terrace Lane
- SP15 Road and Waterline Plan - Terrace Lane
- SP16 Private Road and Waterline Plan - Knoll Lane
- SP16A State Route 20 Road Improvements
- SP17 Storm Sewer Profiles
- SP18 Storm Sewer Profiles
- SP19 Storm Sewer Profiles
- SP20 Storm Sewer Profiles
- SP21 Storm Sewer Calculations
- SP22 Storm Sewer Drainage Areas
- SP23 Storm Sewer Drainage Areas
- SP24 Sanitary Sewer Profiles
- SP25 Sanitary Sewer Profiles
- SP26 Landscape Plan
- SP27 Landscape Plan
- SP28 Landscape Plan
- SP29 Landscape Plan
- SP30 Landscape Plan
- SP31 Sewer Lateral Detail/Sched.
- SP31A Proffers/Sight Dist. Profile
- SP32 Details
- SP33 Details
- SP34 Details / Hydrant Flow Calculations
- SP34A Details

SIGNATURE BLOCK

DATE _____

| | |
|---------------------------------------|--|
| PLANNER | |
| ENGINEER | |
| ALBEMARLE COUNTY SERVICE AUTHORITY | |
| ARCHITECTURAL REVIEW BOARD | |
| BUILDING OFFICIAL | |
| VIRGINIA DEPARTMENT OF TRANSPORTATION | |
| FIRE AND RESCUE | |

Dominion Engineering



| REVISIONS | | | REVISIONS | | |
|-----------|---------------------------|----------|-----------|-------------|------|
| NO. | DESCRIPTION | DATE | NO. | DESCRIPTION | DATE |
| 1 | SGNATHRE SUBMISSION | 09/19/15 | | | |
| 2 | MINOR SITE PLAN AMENDMENT | 08/03/16 | | | |
| 3 | MINOR SITE PLAN AMENDMENT | 11/17/16 | | | |
| 4 | MINOR SITE PLAN AMENDMENT | 02/28/18 | | | |

LETTER OF REVISION FOR
CASCADIA - BLOCKS 1-3
RIVANNA DISTRICT, ALBEMARLE COUNTY, VA

SHEET TITLE: COVER SHEET

DOM. PROJECT NO:14.0039

INDEX TITLE:

SP1

SHEET NO: 1 OF 38

DATE: 9/18/15

SITE DATA & GENERAL NOTES

ABBREVIATIONS

LEGEND

SITE DATA

OWNER

CASCADIA DEVELOPMENT, LLC.
170 SOUTH PANTOPS DRIVE
CHARLOTTEVILLE, VA 22911

DEVELOPER

CASCADIA DEVELOPMENT, LLC.
170 SOUTH PANTOPS DRIVE
CHARLOTTEVILLE, VA 22903

LEGAL REFERENCE & SOURCE OF TITLE

DB 4209-088

MAGISTERIAL DISTRICT: RIVANNA

SOURCE OF BOUNDARY SURVEY: DOMINION ENGINEERING

SOURCE OF TOPOGRAPHY: LOUISA AERIAL SURVEYS 03/12/03. FIELD VERIFIED BY DOMINION ENGINEERING 11/21/14.

THIS PROPERTY DOES NOT APPEAR TO BE LOCATED WITHIN A FLOOD PLAIN. IT APPEARS TO LIE IN ZONE X
AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP #51003C02287D DATED FEBRUARY 4, 2005

THIS PROPERTY IS NOT LOCATED WITHIN A RESERVOIR WATERSHED.

BENCHMARK(S): TOP OF EXISTING SANITARY MANHOLE "EX-1" ON SOUTH END OF SITE = 393.94

WATER SOURCE: ALBEMARLE COUNTY SERVICE AUTHORITY

SEWER SERVICE: ALBEMARLE COUNTY SERVICE AUTHORITY

THIS PROPERTY IS ZONED: NMD (ZMA2002-004)

Table D – Lot Regulations (in feet)

| Unit Type | Lot Width | Front Build–To Line | Minimum Setbacks | |
|-----------------|-----------|---------------------|------------------|------|
| | | | Side | Rear |
| Single Family | 60+ | 15–30 | 5 | 10 |
| Single Family | ≤ 60 | 10–30 | 3 | 10 |
| Townhouse | 16'–35' | 5–25 | 3 | 10 |
| Multi–Family | N/A | 1–15 | 4 | 15 |
| Mixed Use | N/A | 1–15 | 4 | 15 |
| Non–Residential | N/A | 1–15 | 4 | 15 |

Table E – Maximum Building Heights

| | |
|--------------|---------|
| Blocks 1 & 3 | 50 Feet |
| Block 2 | 38 Feet |
| Blocks 4–7 | 38 Feet |

TABLE B – BLOCK AREAS AND USE DENSITY PER CODE OF DEVELOPMENT

| Block | Estimated Block Size (in Acres) | Min./Max Square Footages and Densities by Use by Block | | | | |
|---------|---------------------------------|--|---------------------------------|-----------------------------------|------------------------------|------------------------------|
| | | Min. Residential Dwelling Units | Max. Residential Dwelling Units | Max. Residential Density per Acre | Min. Non-Residential Sq. Ft. | Max. Non-Residential Sq. Ft. |
| Block 1 | 10.27 | 10 | 40 | 3.9 | 5,000 | 18,000 |
| Block 2 | 14.51 | 75 | 150 | 10.3 | 0 | 0 |
| Block 3 | 4.40 | 10 | 70 | 15.9 | 0 | 0 |
| Block 4 | 1.83 | 0 | 10 | 5.5 | 2,000 | 5,000 |
| Block 5 | 2.23 | 5 | 20 | 9.0 | 0 | 0 |
| Block 6 | 19.57 | 25 | 65 | 3.3 | 0 | 0 |
| Block 7 | 7.63 | 25 | 65 | 8.2 | 0 | 0 |

PROPOSED BLOCK AREAS AND USE DENSITY

| Block | Proposed Block Size (in Acres) | Square Footages and Densities by Use by Block | | |
|---------|--------------------------------|---|------------------------------|-------------------------|
| | | Residential Dwelling Units | Residential Density per Acre | Non-Residential Sq. Ft. |
| Block 1 | 9.27 | 10 | 1.08 | 5,000 |
| Block 2 | 15.07 | 96 | 6.4 | 0 |
| Block 3 | 4.29 | 14 | 3.26 | 0 |

GROSS RESIDENTIAL DESINITY: 4.19 UNIT/ACRE (AREA USED TO COMPUTE DENSITY DOES NOT INCLUDE BLOCKS 4–7)

PROPOSED ADT: 1200 VPD (120 LOTS x 10) + 55 VPD (5,000 SF. OFFICE) = 1255 VPD

CURRENT USE: VACANT

PROPOSED USE: TOWNHOMES (52 UNITS), SINGLE FAMILY DETACHED (32 UNITS), SINGLE FAMILY DUPLEX (36), OFFICE/COMMERCIAL (5,000 SF)

| LAND SCHEDULE: | PRE-DEVELOPMENT (SF) | % | POST-DEVELOPMENT (SF) | % |
|-----------------------|----------------------|------|-----------------------|------|
| RESIDENTIAL LOTS | 0 | 0 | 10.08 ACRES | 35.2 |
| PUBLIC R/W (INTERNAL) | 0 | 0 | 6.40 ACRES | 22.4 |
| PRIVATE ALLEY R/W | 0 | 0 | 0.17 ACRES | 0.6 |
| COMMERCIAL LOT | 0 | 0 | 0.45 ACRES | 1.6 |
| OPEN SPACE/PARKS | 60,772 ACRES | 100 | 11.53 ACRES | 40.2 |
| TOTAL | 28.63 ACRES | 100% | 28.63 ACRES | 100% |

IMPERVIOUS AREAS:

ROADS/PARKING AREAS: 2.990 ACRES

CONCRETE WALKS: 1.012 ACRE

PROPOSED BUILDINGS: 4.482 ACRES

DRIVEWAYS: 1.093 ACRES

TOTAL IMPERVIOUS AREA: 9.577 ACRES

PARKING TABULATION FOR SINGLE FAMILY:

REQUIRED PARKING: 2 SPACES PER UNIT

68 UNITS X 2 SPACES PER UNIT = 136 SPACES

136 PARKING SPACES PROVIDED

PARKING TABULATION FOR TOWNHOUSES:

REQUIRED PARKING: 2 SPACES PER UNIT PLUS 1 SPACE PER 4 UNITS FOR GUEST PARKING

52 TOWNHOUSES X 2 SPACES + 52 TOWNHOUSES X (1 SPACE/4 UNITS) =

117 PARKING SPACES REQUIRED

TOTAL PROVIDED PARKING FOR TOWNHOUSES:

52 UNITS X 2 GARAGE SPACES = 104 + 6 OFF STREET PARKING SPACES = 110*

*PARKING REQUIREMENT IS MET WITH ON STREET PARKING AVAILABLE ON ONE SIDE OF THE STREET ON TERRACE LN. AND MARIETTA DR.

PARKING TABULATION FOR OFFICE / COMMERCIAL SPACE:

REQUIRED PARKING: 20 SPACES FOR OFFICE/COMMERCIAL ALBEMARLE COUNTY ZONING ORDINANCE.

20 PARKING SPACES PROVIDED

OPEN SPACE IS TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.

GENERAL CONSTRUCTION NOTES:

- Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur the requirements of the permit shall govern.
- All materials and construction methods shall conform to current specifications and standards of VDOT unless otherwise noted.
- Erosion and siltation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
- All slopes and disturbed areas are to be fertilized, seeded and mulched.
- The maximum allowable slope is 2:1 (horizontal:vertical). Where reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
- Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer, or designee, it is deemed necessary in order to stabilize a drainage channel.
- All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices.
- Unless otherwise noted all concrete pipe shall be reinforced concrete pipe–Class III.
- All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).

GENERAL CONSTRUCTION NOTES FOR STREETS:

- Construction inspection of all proposed roads within the development will be made by the County. The contractor must notify the Department of Community Development (296–5832) 48 hours in advance of the start of construction.
- Upon completion of fine grading and preparation of the roadbed subgrade, the contractor shall have CBR tests performed on the subgrade soil. Three (3) copies of the test results shall be submitted to the County. If a subgrade soil CBR of 10 or greater is not obtainable, a revised pavement design shall be made by the design engineer and submitted with the test results for approval.
- Surface drainage and pipe discharge must be retained within the public right-of-way or within easements prior to acceptance by the County. All drainage outfall easements are to be extended to a boundary line or a natural watercourse.
- Guardrail locations are approximate. Exact length, location and appropriate end treatments will be field verified at the time of construction. Additional guardrail may be required at locations not shown when, in the opinion of the County Engineer, or designee, it is deemed necessary. When guardrail is required, it shall be installed four (4) feet offset from the edge of pavement to the face of guardrail, and roadway shoulder widths shall be increased to seven (7) feet.
- Where urban cross sections are installed, all residential driveway entrances shall conform to VDOT CG–9(A, B or C).
- Where rural cross sections are installed, all residential driveway entrances shall conform to VDOT standard PE–1.
- Compliance with the minimum pavement width, shoulder width and ditch sections, as shown on the typical pavement section detail, shall be strictly adhered to.
- Road plan approval for subdivisions is subject to final subdivision plat validation. Should the final plat for this project expire prior to signing and recordation, then approval of these plans shall be null and void.
- All signs or other regulatory devices shall conform with the Virginia Manual for Uniform Traffic Control Devices and the Albemarle County Road Naming and Property Numbering Ordinance and Manual.
- Traffic control or other regulatory signs or barricades shall be installed by the developer when, in the opinion of the County Engineer, or designee, they are deemed necessary in order to provide safe and convenient access.
- The speed limits to be posted on speed limit signs are 5 mph below the design speed, or as determined by VDOT for public roads.
- VDOT standard CD–1 or CD–2 cross-drains under to be installed under the subbase material at all cut and fill transitions and grade sag points as shown on the road profiles.
- A video camera inspection is required for all storm sewers and culverts that are deemed inaccessible to VDOT or County inspections. The video inspection shall be conducted in accordance with VDOT's video camera inspection procedure and with a VDOT or County inspector present.

GENERAL CONSTRUCTION NOTES FOR EROSION AND SEDIMENT CONTROL PLANS:

- The plan approving authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week prior to the final inspection.
- All erosion and sediment control measures will be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and Virginia Regulations VR 625–02–00 Erosion and Sediment Control Regulations.
- All erosion and sediment control measures are to be placed prior to or as the first step in clearing.
- A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
- Prior to commencing land disturbing activities in areas other than indicated on these plans (including, but not limited to, off-site borrow or waste areas), the contractor shall submit a supplementary erosion control plan to the owner for review and approval by the plan approving authority.
- The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the plan approving authority.
- All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until final stabilization is achieved.
- During dewatering operations, water will be pumped into an approved filtering device.
- The contractor shall inspect all erosion control measures periodically and after each runoff producing rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately.
- All fill material to be taken from an approved, designated borrow area.
- All waste materials shall be taken to an approved waste area. Earth fill shall be inert materials only, free of roots, stumps, wood, rubbish, and other debris.
- Borrow or waste areas are to be reclaimed within 7 days of completion per Zoning Ordinance section 5.1.28.
- All inert materials shall be transported in compliance with section 13–301 of the Code of Albemarle.
- Borrow, fill or waste activity involving industrial–type power equipment shall be limited to the hours of 7:00am to 9:00pm.
- Borrow, fill or waste activity shall be conducted in a safe manner that maintains lateral support, or order to minimize any hazard to persons, physical damage to adjacent land and improvements, and damage to any public street because of slides, sinking, or collapse.
- The developer shall reserve the right to install, maintain, remove or convert to permanent stormwater management facilities where applicable all erosion control measures required by this plan regardless of the sole of any lot, unit, building or other portion of the property.
- Temporary stabilization shall be temporary seeding and mulching. Seeding is to be at 75 lbs/acre, and in the months of September to February to consist of a 50/50 mix of Annual Ryegrass and Cereal Winter Rye, or in March and April to consist of Annual Rye, or May through August to consist of German Millet. Straw mulch is to be applied at 80lbs/100sf. Alternatives are subject to approval by the County erosion control inspector.
- Permanent stabilization shall be lime and fertilizer, permanent seeding, and mulch. Agricultural grade limestone shall be applied at 90lbs/1000sf, incorporated into the top 4–6 inches of soil. Fertilizer shall be applied at 1000lbs/acre and consist of a 10–20–10 nutrient mix. Permanent seeding shall be applied at 180lbs/acre and consist of 95% Kentucky 31 or Tall Fescue and 0–5% Perennial Ryegrass or Kentucky Bluegrass. Straw mulch is to be applied at 80lbs/100sf. Alternatives are subject to approval by the County erosion control inspector.
- Maintenance: All measures are to be inspected weekly and after each rainfall. Any damage or clogging to structural measures is to be repaired immediately. Silt traps are to be cleaned when 50% of the wet storage volume is filled with sediment. All seeded areas are to be reseeded when necessary to achieve a good stand of grass. Silt fence and diversion dykes which are collecting sediment to half their height must be cleaned and repaired immediately.
- All temporary erosion and sediment control measures are to be removed within 30 days of final site stabilization, when measures are no longer needed, subject to approval by the County erosion control inspector.
- This plan shall be void if the owner does not obtain a permit within 1 year of the date of approval. (Water Protection Ordinance section 17–204G.)
- Permanent vegetation shall be installed on all denuded areas within nine (9) months after the date the land disturbing activity commences. (Water Protection Ordinance section 17–207B)

GENERAL

ABAN ABANDON(ED)

ADJ ADJUST

AHD AHEAD

APRX APPROXIMATE

BC BACK OF CURB

BFE BASEMENT FLOOR ELEVATION

BIT BITUMINOUS

BK BACK

BM BENCHMARK

BS BOTTOM OF SLOPE

CB CATCH BASIN

CG12 ACCESSIBLE CURB RAMP

CL CENTER LINE

CL CHAIN LINK

COMP CORRUGATED METAL PIPE

CONC CONCRETE

CY CUBIC YARDS

C/C CENTER TO CENTER

C&G CURB AND GUTTER

DIA DIAMETER

EL ELEVATION

ELEV ELEVATION

ES END SECTION

EW END WALL

EX EXISTING

EXIST EXISTING

FDN FOUNDATION

FFE FINISHED FLOOR ELEVATION

GTG GRADE TO DRAIN

IFIRON FOUND

IS IRON SET

LA LANDSCAPE AREA

LOD LIMIT OF DISTURBANCE

LF LINEAR FEET

LT LEFT

UTILITY

ARV AIR RELEASE VALVE

BOA BLOW OFF ASSEMBLY

CO CLEANOUT

CTV CABLE TELEVISION

DI DROP INLET

DIP DUCTILE IRON PIPE

ELEC ELECTRIC

FH FIRE HYDRANT

FM FORCE MAIN

F&C FRAME AND COVER

F&G FRAME AND GRATE

GT GREASE TRAP

GV GATE VALVE

HDPE HIGH DENSITY POLYETHYLENE

INV INVERT

MAX MAXIMUM

MIN MINIMUM

MON MONUMENT CONCRETE

NIC NOT IN CONTRACT

NTS NOT TO SCALE

OC ON CENTER

OH OVERHEAD

PE POLYETHYLENE

PERF PERFORATED

PROP PROPOSED

PRVD PROVIDED

PWW PAVED WATER WAY

RCP REINFORCED CONCRETE PIPE

REM REMOVE

REQD REQUIRED

RET RETAIN

RT RIGHT

R/W RIGHT OF WAY

R&D REMOVE AND DISPOSE

R&R REMOVE & RESET

SD SIGHT DISTANCE

SQ SQUARE

STA STATION

SW SIDEWALK

SWEL SOLID WHITE EDGE LINE

SWLL SOLID WHITE LANE LINE

TBA TO BE ABANDONED

TBR TO BE REMOVED

TC TOP OF CURB

TS TOP OF SLOPE

TYP TYPICAL

UG UNDERGROUND

VESCHVA E&S CONTROL HANDBOOK

YDS YARDS

EXIST

PROP

PROPERTY LINE

ADJACENT PROPERTY LINE

VACATED PROPERTY LINE

EASEMENT

BUILDING SETBACK

BUILD TO LINE

ZONING LINE

LIMIT OF DISTURBANCE

FLOODPLAIN LIMIT

BUFFER ZONE

RMA – RESOURCE MANAGEMENT AREA

RPA – RESOURCE PROTECTION AREA

EDGE OF GRAVEL

EDGE OF PAVEMENT

STANDARD 6" CURB

STANDARD 4" CURB

COMBINATION 6" CURB & GUTTER

COMBINATION 4" CURB & GUTTER

FIRE LANE STRIPING

BUILDING ENTRANCE

LOADING DOCK

BOLLARD

DUMPSTER PAD

SIGN

STEEL GUARDRAIL

WOOD GUARDRAIL

PATH

TREE LINE

FENCE

STONE WALL

RETAINING WALL

STREAM / POND / WATER COURSE

DETENTION BASIN

SILT FENCE

