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February 28, 2018

Paty Saternye
Senior Planner
Albemarle County Community Development Department
Planning Services
401 McIntire Road
Charlottesville, Virginia 22902

75RE: Cascadia – Blocks 1-3 (Towne District) Final Site Plan - SDP 2014-00075 - Variation Request Letter for Block 1 Permitted Uses

Dear Paty,

Please consider the attached revised Site Plan Sheets 1, 2 and 6 and this revised letter of justification as our formal request to vary Table A — Uses Permitted by Block on Page 9 of the Code of Development (COD) to include single-family detached as a permitted use within Block 1. The developer is proposing to change from 8 duplex units on Lots 259-266 to 8 single family detached units on the same lots with no adjustments to the plat or infrastructure.

- 1) The referenced Site Plan is currently approved with 20% Single Family Detached product, or 24 out of 120 units in Blocks 1-3. The current market trend is for SFD, and the variation would increase the mix to 32 out of 120 units, or 26.7% SFD. The COD envisioned less overall detached product in Blocks 1-3, so the relatively low percentage still achieves that goal.
- 2) There will be no change in the density, the site infrastructure or platted lot lines to make the change. In fact, the revision will be barely noticeable since the revision incorporates 3' side yards.
- 3) The COD does call out for taller buildings in Block 1, prescribing a maximum height of 50 feet. The Single Family Detached Units will be 2 stories-high while the duplex units were a 1-1/2 story-high product.

We thank you for taking the time to review this request. Please let me know if you have any questions or require additional information.

Very truly yours,

Michael Myers, P.E.

Attachments

Cc: Charlie Armstrong

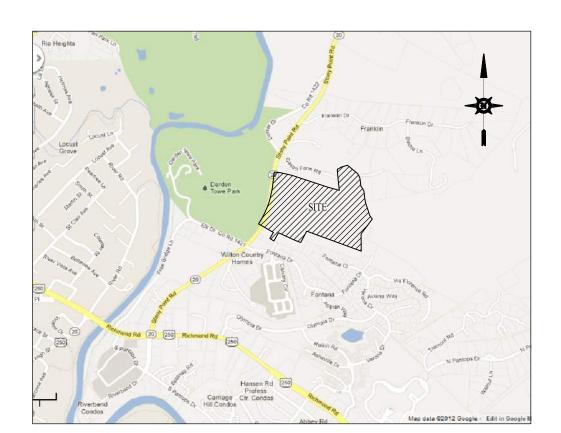
Keith Lancaster

LETTER OF REVISION FOR CASCADIA - BLOCKS 1 - 3

TM 62, PARCEL 25 TM 78, PARCELS 59 & 59A TM 78E, PARCEL H1 RIVANNA DISTRICT, ALBEMARLE COUNTY, VIRGINIA

VICINITY MAP

SCALE: 1" = 2000'



County of Albemarie Conservation Plan Checklist – To be placed on Landscape Plans (Handbook, pp III-284-111-297 for complete specifications)

The following items shall be shown on the plan:
 Trees to be saved;
 Limits of clearing (outside dripline of trees to be saved);
 Location and type of protective fencing;
 Grade changes requiring tree wells or walls;
 Proposed trenching or tunneling beyond the limits of clearing.

2. Markings:

All trees to be saved shall be marked with print or ribbon at a height clearly visible to equipment operators.

No grading shall begin until the tree marking has been inspected and approved by a County Inspector.

3. Pre-Construction Conference:
Tree preservation and protection measures shall be reviewed with the contractor on site.

Heavy equipment, vehicular traffic and storage of construction materials including soil shall not be permitted within the driplines of trees to be saved.

5. Soil Erosion and Stormwater Detention Devices:

Such devices shall not adversely affect trees to be saved.

6. Fires are not permitted within 100 feet of the dripline of trees to be saved.

7. Toxic Materials:

Toxic materials shall not be stored within 100 feet of the dripline of trees to be saved.

8. Protective Fencing:

Trees to be retained within 40 feet of a proposed building or grading activity shall be protected by fencing.

Fencing shall be in place and shall be inspected and approved by a County Inspector prior to grading or construction.

9. Tree Wells:
When the ground level must be raised within the dripline of a tree to be saved, a tree well shall be provided and a construction detail

10. Tree Walls:

When the ground level must be lowered within the dripline a tree to be saved, a tree wall shall be provided; and a construction detail

11. Trenching and Tunneling:
When trenching is required within the limits of clearing, it shall be done as far away from the trunks of trees as possible. Tunneling

12. Clearan:

12. Clearup:
Protective fencing shall be the last items removed during the final cleanup.

13. Danaged Trees:
Damaged trees shall be treated immediately by pruning, fertilization or other methods recommended by a tree specialist.

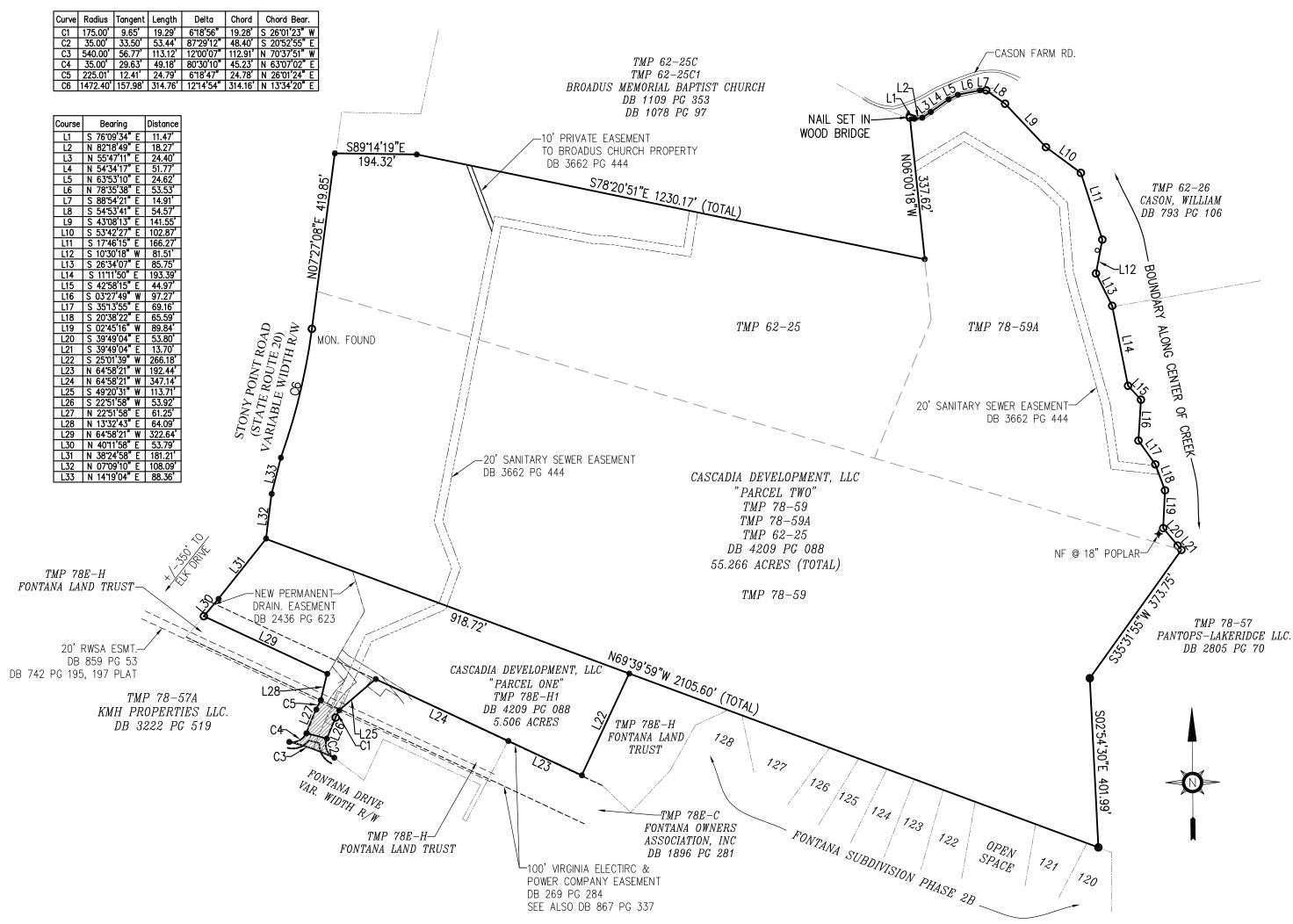
NOTE: IT IS THE DEVELOPER'S RESPONSIBILITY TO CONFER WITH THE CONTRACTOR ON TREE CONSERVATION

OWNER SIGNATURE

CONTRACT PURCHASER SIGNATURE

12/1/14 E) 5/1/06 Page 1 of 1 PARCEL OVERVIEW

SCALE: 1" = 200'



SHEET INDEX

SP1 Cover Sheet)
(SP2 Notes, Abbreviations, & Legend)

SP3 Road Sections & Code of Development Tables

SP5 Subdivision Overvio

SP5A Building Block Plan / Phasing Plan

SP6 Site Plan

SP8 Site Pla

SP9 Site Plar

SP10 Road and Waterline Plan - Cascadia Drive

P11 Road and Waterline Plan - Delphi Lane

P13 Road and Waterline Plan - Delphi Drive

SP14 Road and Waterline Plan - Terrace Lane

SP15 Road and Waterline Plan - Terrace Lane

P16 Private Road and Waterline Plan - Knoll Lane

SP16A State Route 20 Road Improvements

SP18 Storm Sewer Profiles

SP19 Storm Sewer Profiles

SP20 Storm Sewer ProfilesSP21 Storm Sewer Calculations

SP22 Storm Sewer Drainage Areas

SP23 Storm Sewer Drainage Areas

SP24 Sanitary Sewer Profiles

SP24 Sanitary Sewer Profiles

SP25 Sanitary Sewer Profiles

SP26 Landscape Plan SP27 Landscape Plan

SP28 Landscape Plan

SP29 Landscape Plan

SP30 Landscape Plan

SP31 Sewer Lateral Detail/Sched.

SP31A Proffers/Sight Dist. Profile

SP32 Details

SP33 Details

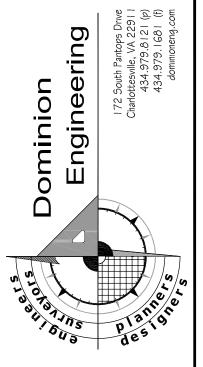
SP34 Details / Hydrant Flow Calculations

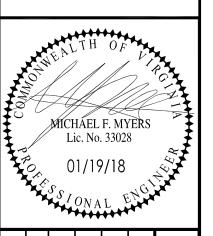
SP34A Details

SIGNATURE BLOCK

DATE

PLANNER	
ENGINEER	
ENGINEER	
ALBEMARLE COUNTY SERVICE AUTHORITY	
ALBENIANCE GOOM FOLKVIOL AGAINST T	
ARCHITECTURAL REVIEW BOARD	
BUILDING OFFICIAL	
VIRGINIA DEPARTMENT OF TRANSPORTATION	
VINGINIA DEI ARTIVIENT OF TRANSFORTATION	
FIRE AND RESCUE	





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SCADIA DISTRICT

DOM. PROJECT NO:14.003

SHEET NO: 1 OF 38

DATE: 9/18/15

INDEX TITLE:

PROPERTY LINE

EASEMENT

BUILDING SETBACK

LIMIT OF DISTURBANCE

RMA - RESOURCE MANAGEMENT AREA

RPA - RESOURCE PROTECTION AREA

COMBINATION 6" CURB & GUTTER

COMBINATION 4" CURB & GUTTER

FLOODPLAIN LIMIT

EDGE OF GRAVEL

EDGE OF PAVEMENT

STANDARD 6" CURB

STANDARD 4" CURB

FIRE LANE STRIPING

BUILDING ENTRANCE

LOADING DOCK

DUMPSTER PAD

STEEL GUARDRAIL

WOOD GUARDRAIL

SIGN

PATH

TREE LINE

STONE WALL

RETAINING WALL

DETENTION BASIN

SILT FENCE

CONTOUR

INDEX CONTOUR

PARKING COUNT

CROSSWALK

EC-3 TYPE B

STREAM / POND / WATER COURSE

BUFFER ZONE

BUILD TO LINE

ZONING LINE

- \bigcirc - \bigcirc - \bigcirc

—— вz ——

CG-2

CG-3

CG-6

CG-7

'///////.

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____×

____ x ____

ADJACENT PROPERTY LINE

VACATED PROPERTY LINE

EXIST

x 16⁵ TC

x 16⁵ BC

× 16⁵ FL

x 16⁵ EOP

x 16⁵ TW

× 16⁵BW

8"S

---- OHT ----

x 16⁵

DESCRIPTION

TOP OF CURB ELEVATION

FLOW LINE ELEVATION

TOP OF WALL ELEVATION

BOTTOM OF WALL ELEVATION

TEST PIT LOCATION /BORING LOCATION

SPOT ELEVATION

BENCHMARK

IRON FOUND

UNDERDRAIN

DRAINAGE LINE

ROOF DRAIN

SEWER LINE

WATER LINE

GAS LINE

CABLE TV

DRAIN INLET

DRAIN MANHOLE

PLUG OR STUB

SEWER MANHOLE

SEWER CLEANOUT

WATER METER

WATER WELL

GAS VALVE

GAS METER

ELECTRIC MANHOLE

ELECTRIC METER

TELEPHONE MANHOLE

TRANSFORMER PAD

UTILITY POLE

GUY POLE

MATCHLINE

1. THE SIZE OF THE SYMBOLS MAY VARY FROM THOSE SHOWN.

2. ALL ABBREVIATIONS AND SYMBOLS SHOWN MAY NOT BE USED.

LIGHT POLE

WATER VALVE & BOX

HEADWALL

FLARED END SECTION

TRENCH DRAIN

FIRE PROTECTION LINE

WATER SERVICE LINE

OVERHEAD ELECTRIC WIRE

UNDERGROUND ELECTRIC

OVERHEAD TELEPHONE LINE

UNDERGROUND TELEPHONE LINE

BOTTOM OF CURB ELEVATION

EDGE OF PAVEMENT ELEVATION

PROP

x 12⁵ TC

× 12⁵BC

x 12⁵ FL

× 12⁵ EOP

x 12⁵ TW

x 12⁵BW

—— 8"S **——**

____ TD ____

____.

----- 4"FP -----

_____2"DW ____

___ G ___

---- OHW -----

----- UGE -----

____CATV ____

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x 12⁵

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DOM. PROJECT NO:14.003 INDEX TITLE:

SHEET NO: 2 OF 38

DATE: 12/01/14

GENERAL EXIST PROP DESCRIPTION

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RPA

CG-6

ABAN ABANDON(ED) MAX MAXIMUM ADJ ADJUST MIN MINIMUM MON MONUMENT CONCRETE NIC NOT IN CONTRACT

ABBREVIATIONS

AHD AHEAD APRX APPROXIMATE BC BACK OF CURB NTS NOT TO SCALE

BFE BASEMENT FLOOR ELEVATION

BK BACK

CONC CONCRETE

DIA DIAMETER

EL ELEVATION

ELEV ELEVATION

EW END WALL

EX EXISTING

EXIST EXISTING

IFIRON FOUND

IS IRON SET

LF LINEAR FEET

LT LEFT

CO CLEANOUT

DI DROP INLET

ELEC ELECTRIC

FH FIRE HYDRANT

FM FORCE MAIN

FDN FOUNDATION

GTD GRADE TO DRAIN

LA LANDSCAPE AREA

LOD LIMIT OF DISTURBANCE

ARV AIR RELEASE VALVE

CTV CABLE TELEVISION

DIP DUCTILE IRON PIPE

F&C FRAME AND COVER

F&G FRAME AND GRATE

HDPE HIGH DENSITY POLYETHYLENE

GT GREASE TRAP

GV GATE VALVE

INV INVERT

UTILITY

MH MANHOLE

SAN SANITARY

SD STORM

UP UTILITY POLE

WL WATER LINE

WM WATER METER

WV WATER VALVE

6"V 6" VALVE

RIM RIM ELEVATION

STR DRAINAGE STRUCTURE

TSV TAPPING SLEEVE & VALVE

FFE FINISHED FLOOR ELEVATION

ES END SECTION

CY CUBIC YARDS

OC ON CENTER BIT BITUMINOUS OH OVERHEAD PE POLYETHYLENE

BM BENCHMARK BS BOTTOM OF SLOPE

PERF PERFORATED PROP PROPOSED CB CATCH BASIN PRVD PROVIDED CG12 ACCESSIBLE CURB RAMP PWW PAVED WATER WAY © CENTER LINE REM REMOVE CL CHAIN LINK

RCP REINFORCED CONCRETE PIPE REQD REQUIRED CMP CORRUGATED METAL PIPE RET RETAIN RT RIGHT R/W RIGHT OF WAY C/C CENTER TO CENTER C&G CURB AND GUTTER R&D REMOVE AND DISPOSE

R&R REMOVE & RESET SD SIGHT DISTANCE SQ SQUARE STA STATION SW SIDEWALK

SWEL SOLID WHITE EDGE LINE SWLL SOLID WHITE LANE LINE TBA TO BE ABANDONED TBR TO BE REMOVED

TC TOP OF CURB

TS TOP OF SLOPE TYP TYPICAL UG UNDERGROUND VESCHVA. E&S CONTROL HANDBOOK

SCC STORMWATER CONVEYANCE CHANNEL

ACCESSIBLE CURB RAMP HANDICAP PARKING VAN-ACCESSIBLE HANDICAP PARKING CONCRETE PAVEMENT / SIDEWALK

NEW ASPHALT GRASS EC-2 BLANKET MATTING EC-3 TYPE A

11. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP), GENERAL CONSTRUCTION PERMIT (GCP) PROGRAM AS ADMINISTERED BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND

RECREATION (DCR) UNDER THE JURISDICTION OF THE EPA. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FILE A GCP NOTICE OF INTENT WITH THE DCR AND PREPARE A STORMWATER PREVENTION PLAN IN ACCORDANCE WITH THE VSMP REGULATIONS. 12. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. 14. ONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS,

15 EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARDS SPECIFICATIONS, AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE

GENERAL CONSTRUCTION NOTES FOR STORMWATER MANAGEMENT PLANS:

1. All dams and constructed fill to be within 95% of maximum dry density and 2% of optimum moisture content. All fill material to be approved by a geotechnical engineer. A geotechnical engineer is to be present during construction of dams.

2. Pipe and riser joints are to be watertight within stormwater management facilities. 3. For temporary sediment traps or basins which are to be converted to permanent stormwater management facilities; conversion is not to take place until the site is stabilized, and permission has been obtained from the County erosion control inspector.

2. All light fixtures shall be 3,000 lumens or less. (VLR) shall not exceed 30%.

GENERAL CONSTRUCTION NOTES:

1. Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur the requirements of the permit shall govern. 2. All materials and construction methods shall conform to current specifications and

standards of VDOT unless otherwise noted. 3. Erosion and siltation control measures shall be provided in accordance with the approved

erosion control plan and shall be installed prior to any clearing, grading or other construction. 4. All slopes and disturbed areas are to be fertilized, seeded and mulched.

5. The maximum allowable slope is 2:1 (horizontal: vertical). Where reasonably obtainable, lesser slopes of 3:1 or better are to be achieved. 6. Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer, or designee, it is deemed necessary in order to stabilize a drainage

7. All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices. 8. Unless otherwise noted all concrete pipe shall be reinforced concrete pipe—Class III. 9. All excavation for underground pipe installation must comply with OSHA Standards for

GENERAL CONSTRUCTION NOTES FOR STREETS:

the Construction Industry (29 CFR Part 1926).

1. Construction inspection of all proposed roads within the development will be made by the County. The contractor must notify the Department of Community Development (296— 5832) 48 hours in advance of the start of construction.

2. Upon completion of fine grading and preparation of the roadbed subgrade, the contractor shall have CBR tests performed on the subgrade soil. Three (3) copies of the test results shall be submitted to the County. If a subgrade soil CBR of 10 or greater is not obtainable, a revised pavement design shall be made by the design engineer and submitted with the test results for approval.

3. Surface drainage and pipe discharge must be retained within the public right-of-way or within easements prior to acceptance by the County. All drainage outfall easements are to be extended to a boundary line or a natural watercourse.

4. Guardrail locations are approximate. Exact length, location and appropriate end treatments will be field verified at the time of construction. Additional guardrail may be required at locations not shown when, in the opinion of the County Engineer, or designee, it is deemed necessary. When avardrail is required, it shall be installed four (4) feet offset from the edge of payement to the face of quardrail, and roadway shoulder widths shall be increased to seven (7) feet.

5. Where urban cross sections are installed, all residential driveway entrances shall conform to VDOT CG-9(A, B or C). 6. Where rural cross sections are installed, all residential driveway entrances shall conform to

7. Compliance with the minimum pavement width, shoulder width and ditch sections, as

shown on the typical pavement section detail, shall be strictly adhered to. 8. Road plan approval for subdivisions is subject to final subdivision plat validation. Should the final plat for this project expire prior to signing and recordation, then approval of these plans shall be null and void.

Traffic Control Devices and the Albemarle County Road Naming and Property Numbering Ordinance and Manual. 10. Traffic control or other regulatory signs or barricades shall be installed by the developer when, in the opinion of the County Engineer, or designee, they are deemed necessary in

9. All signs or other regulatory devices shall conform with the Virginia Manual for Uniform

order to provide safe and convenient access. 11. The speed limits to be posted on speed limit signs are 5 mph below the design speed, or as

determined by VDOT for public roads. 12. VDOT standard CD-1 or CD-2 cross-drains under to be installed under the subbase

material at all cut and fill transitions and grade sag points as shown on the road profiles. 13. A video camera inspection is required for all storm sewers and culverts that are deemed inaccessible to VDOT or County inspections. The video inspection shall be conducted in accordance with VDOT's video camera inspection procedure and with a VDOT or County

GENERAL CONSTRUCTION NOTES FOR EROSION AND SEDIMENT CONTROL PLANS: 1. The plan approving authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week

prior to the final inspection. 2. All erosion and sediment control measures will be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and Virginia Regulations VR 625-02-00 Erosion and Sediment Control

3. All erosion and sediment control measures are to be placed prior to or as the first step in

4. A copy of the approved erosion and sediment control plan shall be maintained on the site at

5. Prior to commencing land disturbing activities in areas other than indicated on these plans (including, but not limited to, off-site borrow or waste areas), the contractor shall submit a

supplementary erosion control plan to the owner for review and approval by the plan approving authority. 6. The contractor is responsible for installation of any additional erosion control measures

necessary to prevent erosion and sedimentation as determined by the plan approving 7. All disturbed areas are to drain to approved sediment control measures at all times during

land disturbing activities and during site development until final stabilization is achieved. 8. During dewatering operations, water will be pumped into an approved filtering device. 9. The contractor shall inspect all erosion control measures periodically and after each runoff

the erosion control devices shall be made immediately. 10. All fill material to be taken from an approved, designated borrow area. 11. All waste materials shall be taken to an approved waste area. Earth fill shall be inert

producing rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of

materials only, free of roots, stumps, wood, rubbish, and other debris. 12. Borrow or waste areas are to be reclaimed within 7 days of completion per Zoning Ordinance section 5.1.28.

13. All inert materials shall be transported in compliance with section 13-301 of the Code of 14. Borrow, fill or waste activity involving industrial—type power equipment shall be limited to the hours of 7:00am to 9:00pm.

15. Borrow, fill or waste activity shall be conducted in a safe manner that maintains lateral support, or order to minimize any hazard to persons, physical damage to adjacent land and improvements, and damage to any public street because of slides, sinking, or collapse. The developer shall reserve the right to install, maintain, remove or convert to permanent

stormwater management facilities where applicable all erosion control measures required by this plan regardless of the sale of any lot, unit, building or other portion of the property. 17. Temporary stabilization shall be temporary seeding and mulching. Seeding is to be at 75 lbs/acre, and in the months of September to February to consist a 50/50 mix of Annual Ryegrass and Cereal Winter Rye, or in March and April to consist of Annual Rye, or May through August to consist of German Millet. Straw mulch is to be applied at 80lbs/100sf.

Alternatives are subject to approval by the County erosion control inspector. 18. Permanent stabilization shall be lime and fertilizer, permanent seeding, and mulch. Agricultural grade limestone shall be applied at 90lbs/1000sf, incorporated into the top 4—6 inches of soil. Fertilizer shall be applied at 1000lbs/acre and consist of a 10-20-10 nutrient mix. Permanent seeding shall be applied at 180lbs/acre and consist of 95% Kentucky 31 or Tall Fescue and 0-5% Perennial Ryegrass or Kentucky Bluegrass. Straw mulch is to be

final site stabilization, when measures are no longer needed, subject to approval by the County erosion control inspector.

approval. (Water Protection Ordinance section 17-204G.) 22. Permanent vegetation shall be installed on all denuded areas within nine (9) months after

21. This plan shall be void if the owner does not obtain a permit within 1 year of the date of

SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

CONTRACTOR'S COORDINATION RESPONSIBILITIES 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.

2. ANY TIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK AND TO FOLLOW ANY GUIDLELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.

3. THE CONTRACTOR IS TO CHECK THAT ALL EASEMENTS, LETTERS OF PERMISSION, ETC, ARE RECORDED/OBTAINED PRIOR TO THE START

4. CONTRACTOR TO VERIFIY ALL SITE PLANS AND PROFILES AND DETAILS FOR CONSISTENCY AND IF CONFLICTS EXISTS, CONTACT ENGINEER FOR CLARIFICATION AND/OR DIRECTION. INTERPRETATION DETERMINED BY CONTRACTOR SHALL BE DONE AT HIS/HER OWN RISK.

5. THE CONTRACTOR IS TO VERIFY THAT THE RELOCATION OF ALL EXISITING UTILITIES IN CONFLICT WITH PROPOSED WORK HAS BEEN COMPLETED INCLUDING UTILITY POLES.

6. CONTRACTOR SHALL COMPLY WITH FENCING AND TREE PRESERVATION SIGNAGE REQUIRRED BY ALBEMARLE COUNTY CODE.

7. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

8. CONTRACTOR SHALL COMPLY WITH ALL WETLAND PERMIT REQUIREMENTS, IF A PERMIT EXISTS.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING, BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL

10. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND

applied at 80lbs/100sf. Alternatives are subject to approval by the County erosion control inspector. 19. Maintenance: All measures are to be inspected weekly and after each rainfall. Any damage or clogging to structural measures is to be repair immediately. Silt traps are to be cleaned when 50% of the wet storage volume is filled with sediment. All seeded areas are to be reseeded when necessary to achieve a good stand of grass. Silt fence and diversion dykes which are collecting sediment to half their height must be cleaned and repaired 20. All temporary erosion and sediment control measures are to be removed within 30 days of

the date the land disturbing activity commences. (Water Protection Ordinance section 17—207B)

. Visibility of all mechanical equipment from the Entrance Corridor shall be eliminated. 3. Window glass criteria: Visible light transmittance (VLT) shall not drop below 40%. Visible light reflectance

THIS PROPERTY IS NOT LOCATED WITHIN A RESERVOIR WATERSHED. BENCHMARK(S): TOP OF EXISTING SANITARY MANHOLE "EX-1" ON SOUTH END OF SITE = 393.94 WATER SOURCE: ALBEMARLE COUNTY SERVICE AUTHORITY SEWER SERVICE: ALBEMARLE COUNTY SERVICE AUTHORITY THIS PROPERTY IS ZONED: NMD (ZMA2002-004) Table D - Lot Regulations (in feet) Minimum Setbacks ront Build-To Line Unit Type Lot Width Side Rear 60+ 15-30 Single Family |Single Family ≤ 60 10-30 5-25 Townhouse 16'-35' 1–15 Multi-Family N/A VDOT standard PE-1. 1–15 15 Mixed Use N/A 1–15 Non-Residential N/A

Table E — Maximu	m Building Heights		
Blocks 1 & 3	ocks 1 & 3 50 Feet		
Block 2	38 Feet		
Blocks 4-7	38 Feet		

SITE DATA

<u>DEVELOPER:</u>

DB 4209-088

CASCADIA DEVELOPMENT, LLC.

170 SOUTH PANTOPS DRIVE

CHARLOTTESVILLE, VA 22911

CASCADIA DEVELOPMENT, LLC.

170 SOUTH PANTOPS DRIVE

CHARLOTTESVILLE, VA 22903

MAGISTERIAL DISTRICT: RIVANNA

LEGAL REFERENCE & SOURCE OF TITLE:

SOURCE OF BOUNDARY SURVEY: DOMINION ENGINEERING

SOURCE OF TOPOGRAPHY: LOUISA AERIAL SURVEYS 03/12/03. FIELD VERIFIED BY DOMINION ENGINEERING 11/21/14.

THIS PROPERTY DOES NOT APPEAR TO BE LOCATED WITHIN A FLOOD PLAIN. IT APPEARS TO LIE IN ZONE X

AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP #51003C0287D DATED FEBRUARY 4, 2005

	TABLE B — E	BLOCK AREAS	S AND USE D)ENSITY PER (CODE OF DEVELO)PMENT
	Estimated Block	Min/Max Square Footages and Densities by Use by Block				
Block	Size (in Acres)		Max. Residential Dwelling Units	Max. Residential Density per Acre	Min. Non-Residential Sq. Ft.	Max. Non-Residential Sq. Ft.
Block 1	10.27	10	40	3.9	5,000	18,000
Block 2	14.51	75	150	10.3	0	0
Block 3	4.40	10	70	15.9	0	0
Block 4	1.83	0	10	5.5	2,000	5,000
Block 5	2.23	5	20	9.0	0	0
Block 6	19.57	25	65	3.3	0	0
Block 7	7.63	25	65	8.2	0	0

PROPOSED BLOCK AREAS AND USE DENSITY							
	Proposed Block	Square Footages and Densities by Use by Block					
Block	Size (in Acres)	Residential Dwelling Units	Residential Density per Acre	Non-Residential Sq. Ft.			
Block 1	9.27	10	1.08	5,000			
Block 2	15.07	96	6.4	0			
Block 3	4.29	14	3.26	0			

GROSS RESIDENTIAL DESNSITY: 4.19 UNIT/ACRE (AREA USED TO COMPUTE DENSITY DOES NOT INCLUDE BLOCKS 4-7) PROPOSED ADT: 1200 VPD (120 LOTS X 10) + 55 VPD (5,000 SF. OFFICE) = 1255 VPD

(<u>Proposed USE:</u> Townhomes (52 Units),single family detached (32 Units), single family duplex (36), office/commercial (5,000 sf) 1 LAND SCHEDULE: PRE-DEVELOPMENT (SF) POST-DEVELOPMENT (SF) 35.2 RESIDENTIAL LOTS 10.08 ACRES PUBLIC R/W (INTERNAL) 6.40 ACRES 22.4

PRIVATE ALLEY R/W 0.17 ACRES COMMERCIAL LOT 0.45 ACRES 40.2 OPEN SPACE/PARKS 60.772 ACRES 100 11.53 ACRES 28.63 ACRES 28.63 ACRES 100%

IMPERVIOUS AREAS: ROADS/PARKING AREAS: 2.990 ACRES

TOTAL IMPERVIOUS AREA: 9.577 ACRES

136 PARKING SPACES PROVIDED

117 PARKING SPACES REQUIRED

REQUIRED PARKING: 2 SPACES PER UNIT PLUS 1 SPACE PER 4 UNITS FOR GUEST PARKING 52 TOWNHOUSES X 2 SPACES + 52 TOWNHOUSES X (1 SPACE/4 UNITS) =

TOTAL PROVIDED PARKING FOR TOWNHOUSES: 52 UNITS X 2 GARAGE SPACES = 104 + 6 OFF STREET PARKING SPACES = 110*

PARKING TABULATION FOR OFFICE / COMMERCIAL SPACE REQUIRED PARKING: 20 SPACES FOR OFFICE/COMMERCIAL ALBEMARLE COUNTY ZONING ORDINANCE.

CONCRETE WALKS: 1.012 ACRE PROPOSED BUILDINGS: 4.482 ACRES DRIVEWAYS: 1.093 ACRES

PARKING TABULATION FOR SINGLE FAMILY: REQUIRED PARKING: 2 SPACES PER UNIT 68 UNITS X 2 SPACES PER UNIT = 136 SPACES

PARKING TABULATION FOR TOWNHOUSES:

*PARKING REQUIREMENT IS MET WITH ON STREET PARKING AVAILABLE ON ONE SIDE OF THE STREET ON TERRACE LN. AND MARIETTA DR.

OPEN SPACE IS TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.

