

ZONING MAP AMENDMENT

APPLICATION PLAN

ZMA2020-13

AN AMENDMENT TO ZMA2002-08

# OVERLOOK HOTEL

TMP 78-73A7

project ID: 19.39

REVISED 5 APRIL 2021

Submitted 7 December 2020

## Context Map

Sheet 1 of 8

### INDEX OF SHEETS

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- 2 - Site & ZMA Details
- 3 - PD-MC Overview
- 4 - Existing Conditions
- 5 - Concept Plan - Site Design
- 6 - Concept Plan - Land Use
- 7 - Circulation
- 8 - Grading & Utilities



Image provided by Google Maps

# OVERLOOK HOTEL

## SITE & ZMA DETAILS

Sheet 2 of 8

### OWNER/DEVELOPER

WS Four LLC  
 3600 Pacific Avenue  
 Virginia Beach, VA 23451

### TMP

78-73A7

### ACREAGE

2.687

### MAGISTERIAL DISTRICT

Rivanna

### STEEP SLOPES & STREAM BUFFER

Managed slopes are present on the property. Stream buffers are not present on the property.

### SOURCE OF BOUNDARY & TOPOGRAPHY

Boundary plat prepared by: Timothy R. Miller, Rivanna Engineering & Surveying, PLC, January 10, 2005. DB 2905 PG 346.

Four (4) foot contour interval topography from Albemarle County GIS for site overview. Two (2) foot contour interval topography provided by LiDAR, Virginia Geographic Information Network, 2016, for conceptual grading purposes.

### FLOODZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 51003C0287D & 51003C0289D), the property does not lie in the Zone AE floodplain.

### WATER SUPPLY WATERSHED

Upper Rivanna River Watershed

### WATER AND SANITARY SERVICES

Serviced by Albemarle County Service Authority

### ITE TRIP GENERATION

	ITE Code	IV	AM			PM			Daily Total
			In	Out	Total	In	Out	Total	
All Suites Hotel	311	125 Rm	23	20	43	20	22	42	531

### USE

EXISTING: Vacant  
 PROPOSED: Hotel

### ZONING

EXISTING: Planned Development Mixed Commercial  
 OVERLAY: Entrance Corridor, Steep Slopes - Managed  
 PROPOSED: Planned Development Mixed Commercial  
 COMPREHENSIVE PLAN: Community Mixed Use, Parks & Green Systems

### MAXIMUM BUILDING HEIGHT

The lesser of 4 stories or 65'

### NON-RESIDENTIAL SQUARE FOOTAGE

MAXIMUM: 80,000 SF

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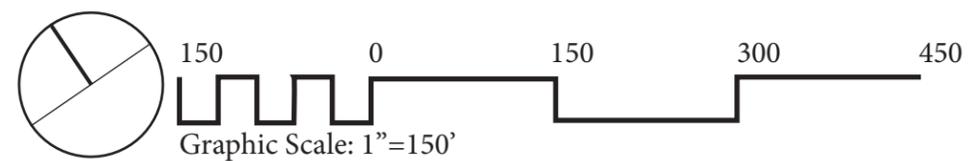
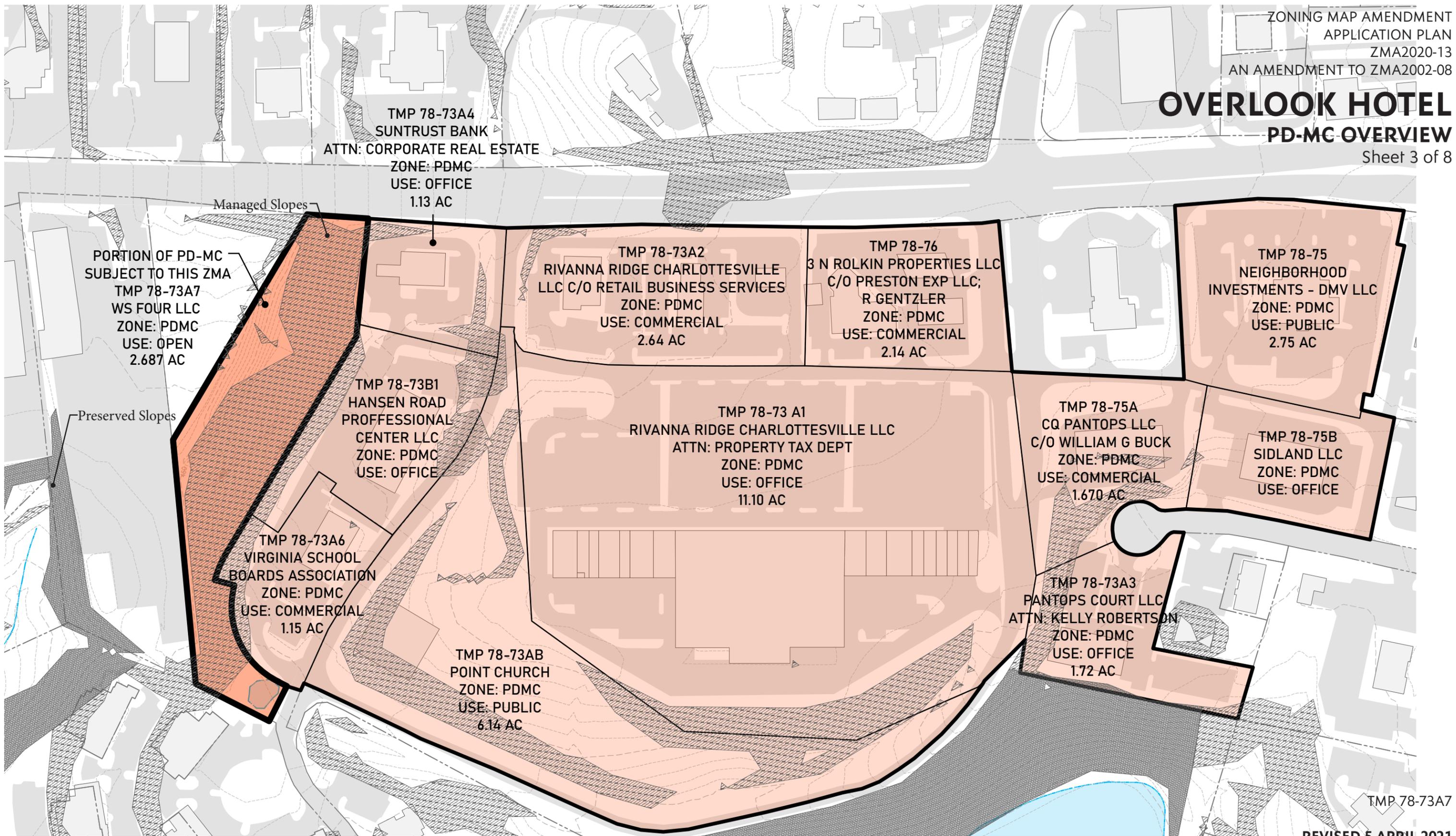
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# OVERLOOK HOTEL

## PD-MC OVERVIEW

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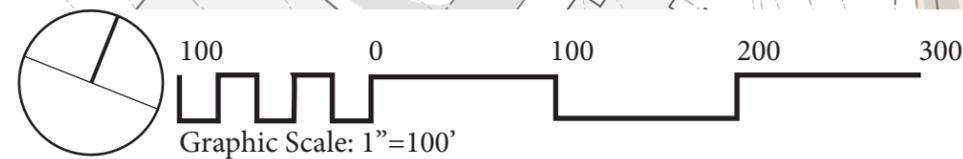
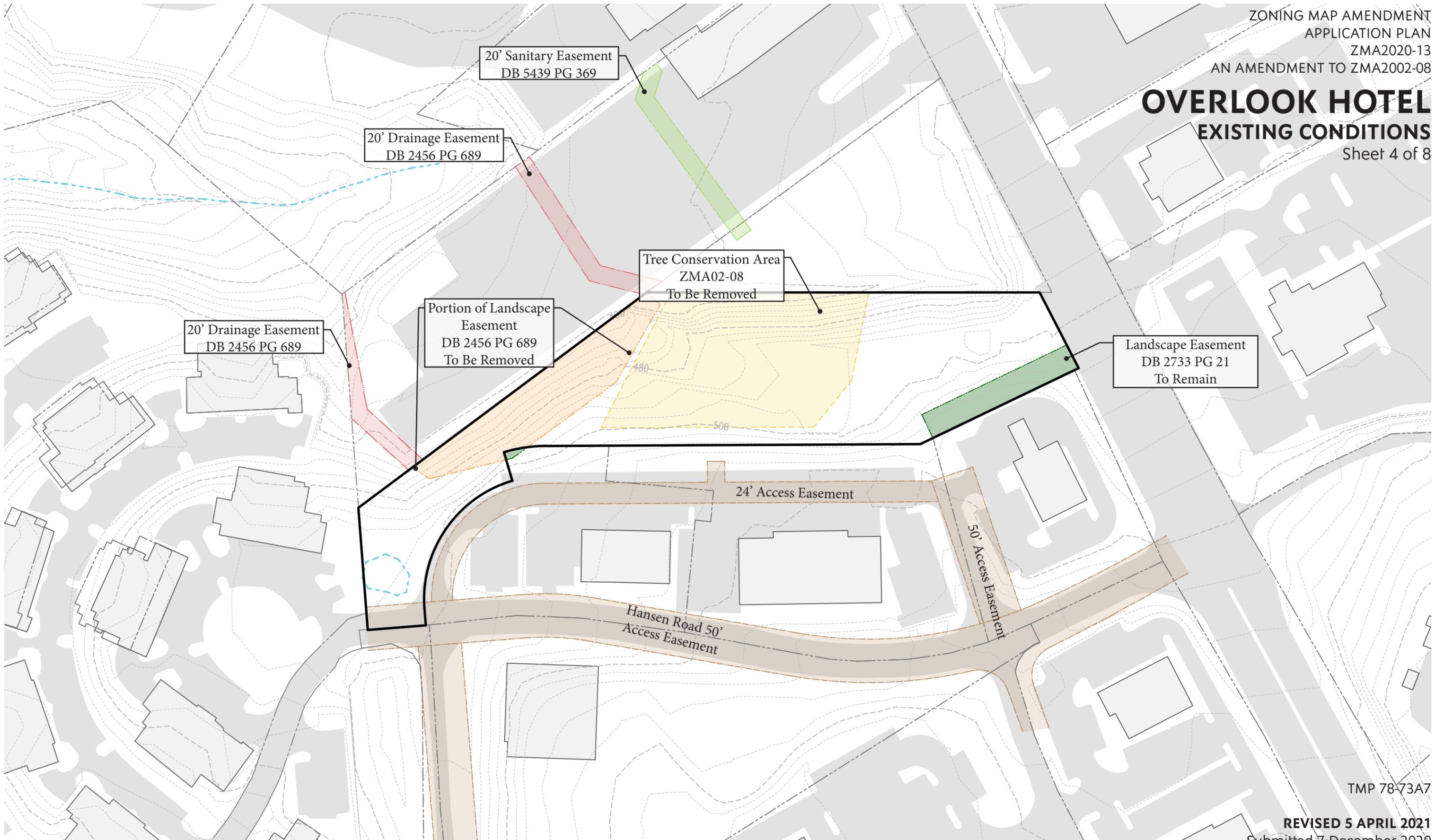
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# OVERLOOK HOTEL

## EXISTING CONDITIONS

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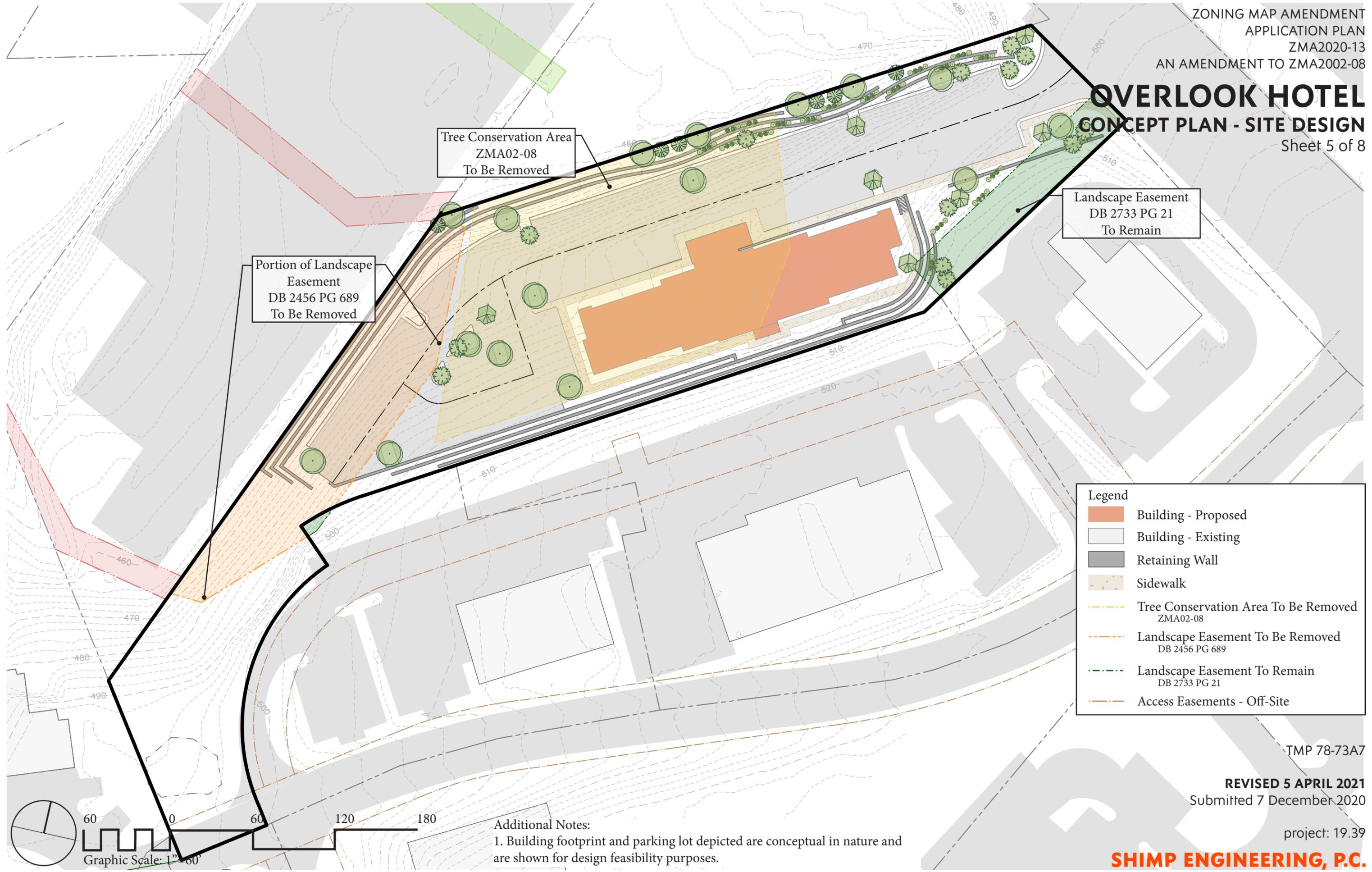
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**SHIMP ENGINEERING, P.C.**

# OVERLOOK HOTEL

## CONCEPT PLAN - SITE DESIGN

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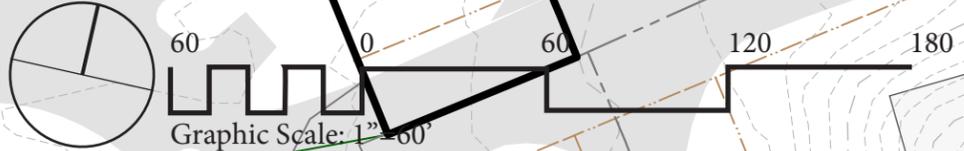


Tree Conservation Area  
 ZMA02-08  
 To Be Removed

Landscape Easement  
 DB 2733 PG 21  
 To Remain

Portion of Landscape  
 Easement  
 DB 2456 PG 689  
 To Be Removed

Legend	
<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span>	Building - Proposed
<span style="display:inline-block; width:15px; height:15px; background-color:lightgray; border:1px solid black;"></span>	Building - Existing
<span style="display:inline-block; width:15px; height:15px; background-color:gray; border:1px solid black;"></span>	Retaining Wall
<span style="display:inline-block; width:15px; height:15px; background-color:tan; border:1px solid black;"></span>	Sidewalk
<span style="display:inline-block; width:15px; border-bottom:1px dashed orange;"></span>	Tree Conservation Area To Be Removed ZMA02-08
<span style="display:inline-block; width:15px; border-bottom:1px dashed orange;"></span>	Landscape Easement To Be Removed DB 2456 PG 689
<span style="display:inline-block; width:15px; border-bottom:1px dashed green;"></span>	Landscape Easement To Remain DB 2733 PG 21
<span style="display:inline-block; width:15px; border-bottom:1px dashed brown;"></span>	Access Easements - Off-Site



Additional Notes:  
 1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.

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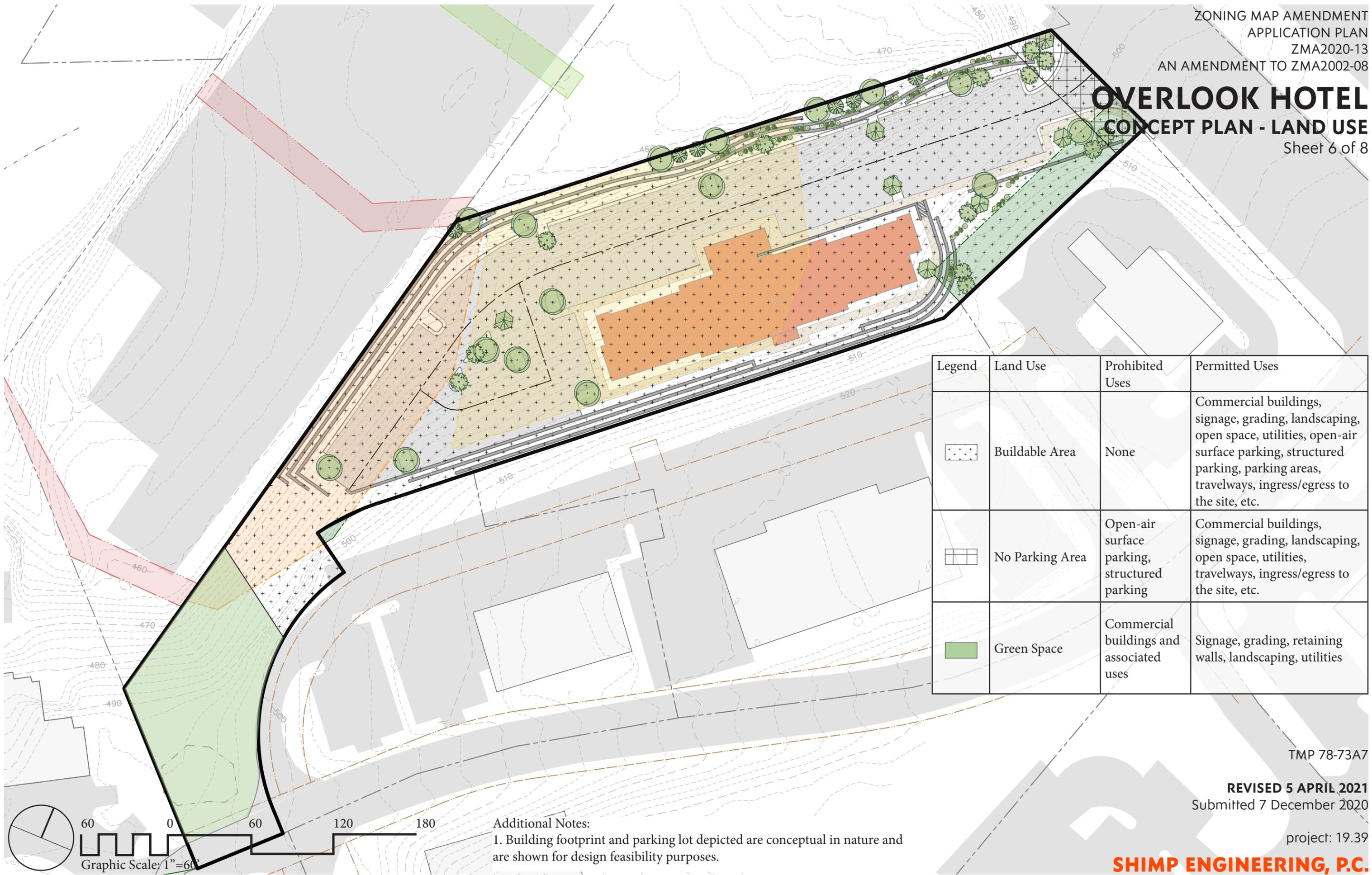
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# OVERLOOK HOTEL

## CONCEPT PLAN - LAND USE

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Legend	Land Use	Prohibited Uses	Permitted Uses
	Buildable Area	None	Commercial buildings, signage, grading, landscaping, open space, utilities, open-air surface parking, structured parking, parking areas, travelways, ingress/egress to the site, etc.
	No Parking Area	Open-air surface parking, structured parking	Commercial buildings, signage, grading, landscaping, open space, utilities, travelways, ingress/egress to the site, etc.
	Green Space	Commercial buildings and associated uses	Signage, grading, retaining walls, landscaping, utilities

Additional Notes:  
 1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.

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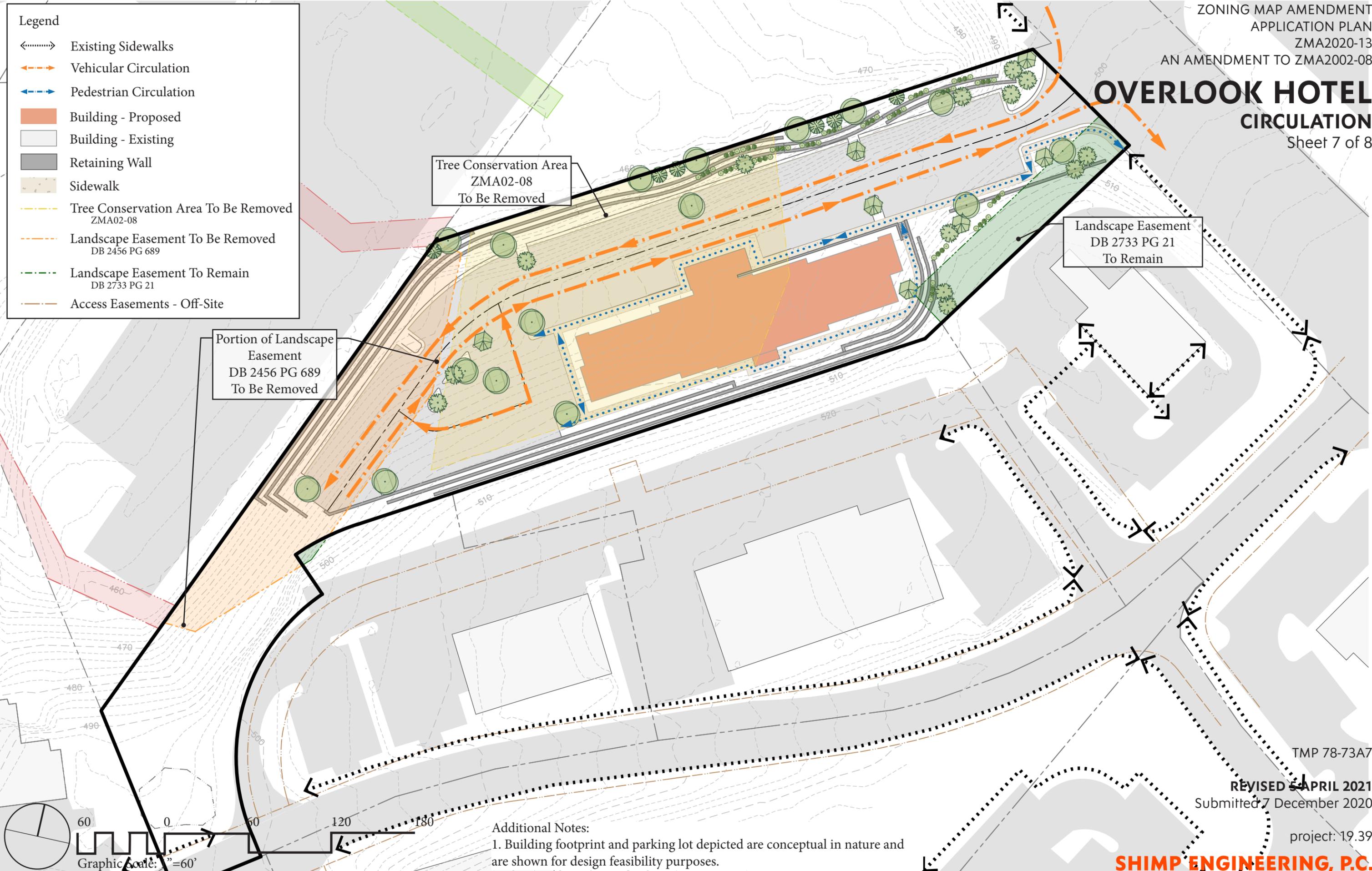
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# OVERLOOK HOTEL CIRCULATION

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- Legend**
- Existing Sidewalks
  - Vehicular Circulation
  - Pedestrian Circulation
  - Building - Proposed
  - Building - Existing
  - Retaining Wall
  - Sidewalk
  - Tree Conservation Area To Be Removed ZMA02-08
  - Landscape Easement To Be Removed DB 2456 PG 689
  - Landscape Easement To Remain DB 2733 PG 21
  - Access Easements - Off-Site



Tree Conservation Area  
 ZMA02-08  
 To Be Removed

Landscape Easement  
 DB 2733 PG 21  
 To Remain

Portion of Landscape  
 Easement  
 DB 2456 PG 689  
 To Be Removed



**Additional Notes:**  
 1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.

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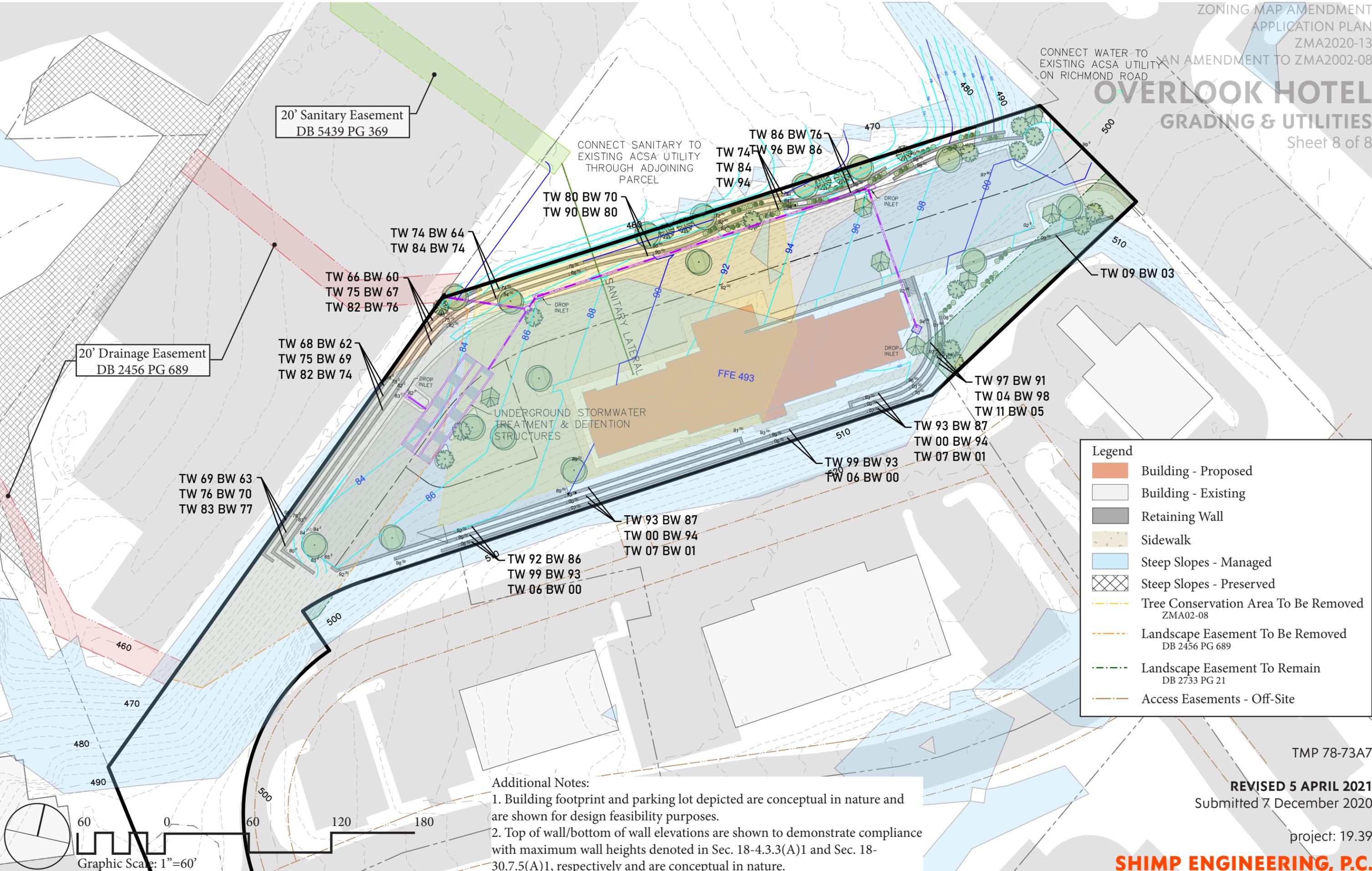
**OVERLOOK HOTEL**  
**GRADING & UTILITIES**  
Sheet 8 of 8

CONNECT WATER TO EXISTING ACSA UTILITY ON RICHMOND ROAD

CONNECT SANITARY TO EXISTING ACSA UTILITY THROUGH ADJOINING PARCEL

20' Sanitary Easement  
DB 5439 PG 369

20' Drainage Easement  
DB 2456 PG 689



TW 74 BW 64  
TW 84 BW 74

TW 80 BW 70  
TW 90 BW 80

TW 86 BW 76  
TW 96 BW 86  
TW 74  
TW 84  
TW 94

TW 66 BW 60  
TW 75 BW 67  
TW 82 BW 76

TW 68 BW 62  
TW 75 BW 69  
TW 82 BW 74

TW 69 BW 63  
TW 76 BW 70  
TW 83 BW 77

TW 92 BW 86  
TW 99 BW 93  
TW 06 BW 00

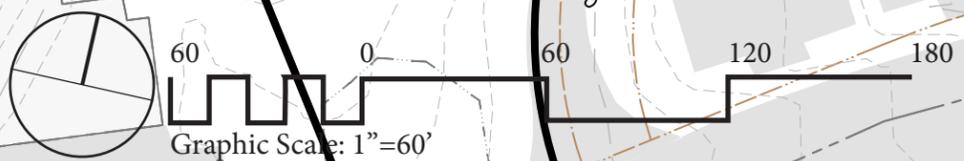
TW 93 BW 87  
TW 00 BW 94  
TW 07 BW 01

TW 93 BW 87  
TW 00 BW 94  
TW 07 BW 01

TW 97 BW 91  
TW 04 BW 98  
TW 11 BW 05

Legend	
	Building - Proposed
	Building - Existing
	Retaining Wall
	Sidewalk
	Steep Slopes - Managed
	Steep Slopes - Preserved
	Tree Conservation Area To Be Removed ZMA02-08
	Landscape Easement To Be Removed DB 2456 PG 689
	Landscape Easement To Remain DB 2733 PG 21
	Access Easements - Off-Site

**Additional Notes:**  
1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.  
2. Top of wall/bottom of wall elevations are shown to demonstrate compliance with maximum wall heights denoted in Sec. 18-4.3.3(A)1 and Sec. 18-30.7.5(A)1, respectively and are conceptual in nature.

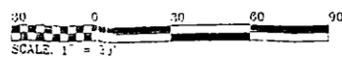
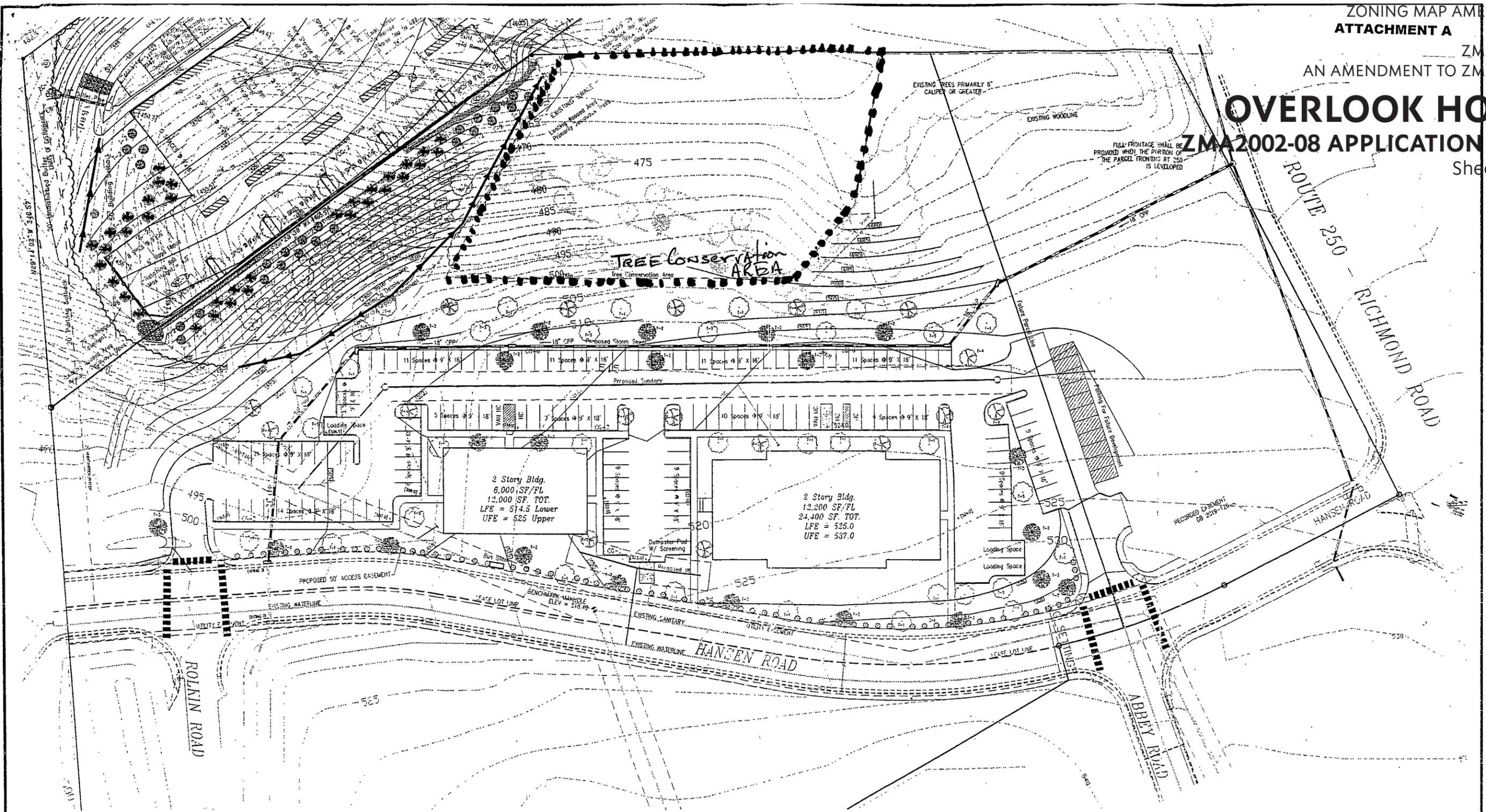


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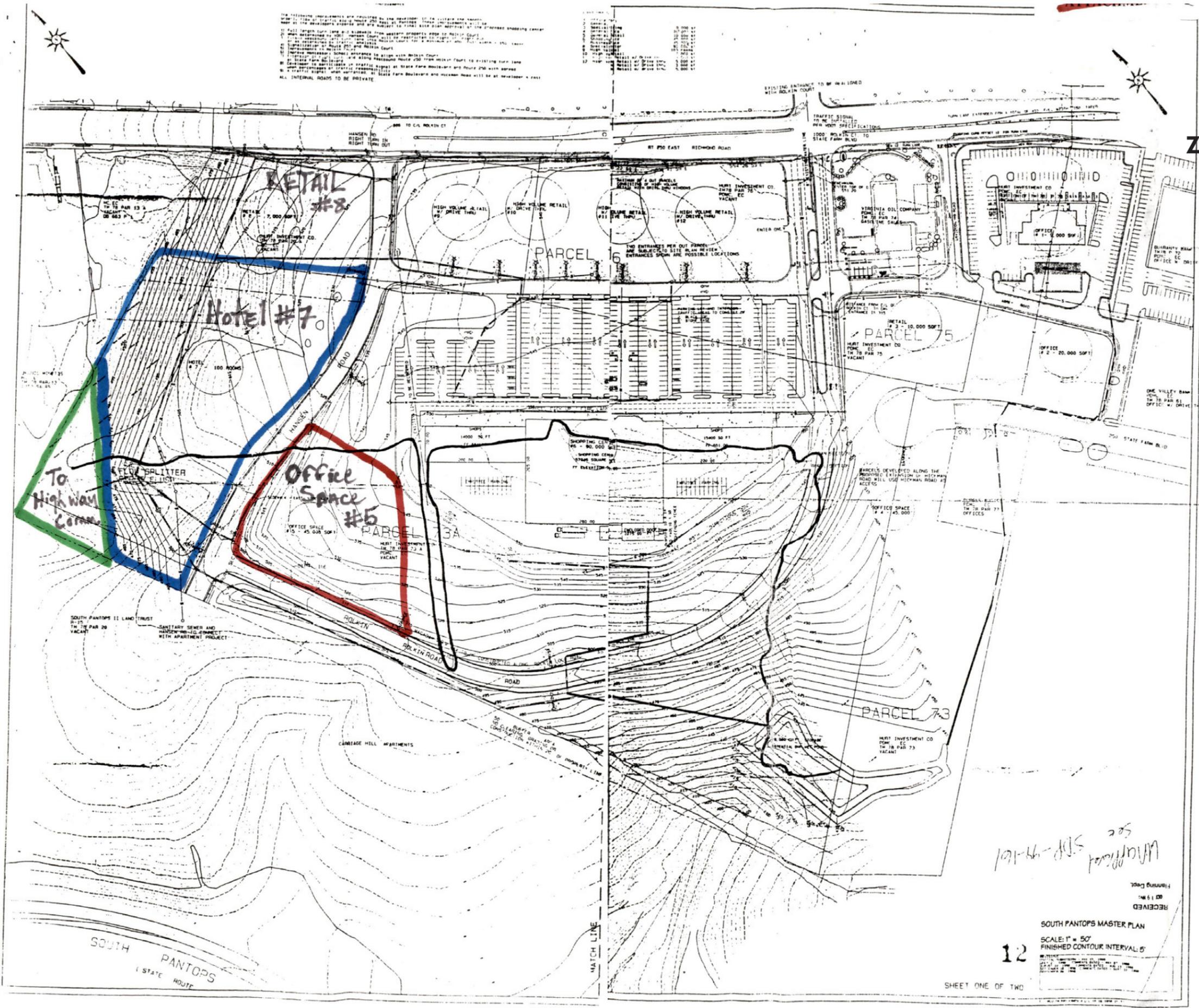
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**OVERLOOK HOTEL**  
**ZMA2002-08 APPLICATION PLAN**  
 Sheet 1 of 2



Project Title: <b>PRELIMINARY SITE DEVELOPMENT PLANS FOR                  OFFICE AT SOUTH PANTOPS                  RIVANNA DISTRICT, ALBEMARLE COUNTY, VIRGINIA</b>		RIVANNA ENGINEERING & SURVEYING, PLC. P.O. BOX 7803 CHARLOTTEVILLE VA 22906 PHONE: (434) 984-1699 FAX: (434) 984-8100 E-Mail: RES@SHIMPENGINEERING.COM	
Sheet No: <b>S2 of 2</b>	Drawing Title: <b>CONCEPTUAL PLAN</b>	Revisions NO. DESCRIPTION DATE 1 REVISED 5 APRIL 2021 2 SUBMITTED 7 DECEMBER 2020	Project No: 19.39
Scale: AS SHOWN Date: 01.02.03 Checked: TRU	Drawn by: JMS Project ID: 1668	File Name: 05A-12 Project ID: 1668	Project: 19.39

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**ZMA2002-08 APPLICATION PLAN**  
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