



Image provided by Google Maps

ZONING MAP AMENDMENT

APPLICATION PLAN

ZMA2020-13

AN AMENDMENT TO ZMA2002-08

# OVERLOOK HOTEL

TMP 78-73A7

project ID: 19.39

REVISED 5 APRIL 2021

Submitted 7 December 2020

## Context Map

Sheet 1 of 8

### INDEX OF SHEETS

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- 2 - Site & ZMA Details
- 3 - PD-MC Overview
- 4 - Existing Conditions
- 5 - Concept Plan - Site Design
- 6 - Concept Plan - Land Use
- 7 - Circulation
- 8 - Grading & Utilities



OVERLOOK HOTEL  
SITE & ZMA DETAILS  
Sheet 2 of 8

OWNER/DEVELOPER

WS Four LLC  
3600 Pacific Avenue  
Virginia Beach, VA 23451

TMP

78-73A7

ACREAGE

2.687

MAGISTERIAL DISTRICT

Rivanna

STEEP SLOPES & STREAM BUFFER

Managed slopes are present on the property. Stream buffers are not present on the property.

SOURCE OF BOUNDARY & TOPOGRAPHY

Boundary plat prepared by: Timothy R. Miller, Rivanna Engineering & Surveying, PLC, January 10, 2005. DB 2905 PG 346.  
Four (4) foot contour interval topography from Albemarle County GIS for site overview. Two (2) foot contour interval topography provided by LiDAR, Virginia Geographic Information Network, 2016, for conceptual grading purposes.

FLOODZONE

According to the FEMA Flood Insurance Rate Map, effective date February 4, 2005 (Community Panel 51003C0287D & 51003C0289D), the property does not lie in the Zone AE floodplain.

WATER SUPPLY WATERSHED

Upper Rivanna River Watershed

WATER AND SANITARY SERVICES

Serviced by Albemarle County Service Authority

ITE TRIP GENERATION

	ITE Code	IV	AM			PM			Daily Total
			In	Out	Total	In	Out	Total	
All Suites Hotel	311	125 Rm	23	20	43	20	22	42	531

USE

EXISTING: Vacant  
PROPOSED: Hotel

ZONING

EXISTING: Planned Development Mixed Commercial  
OVERLAY: Entrance Corridor, Steep Slopes - Managed  
PROPOSED: Planned Development Mixed Commercial  
COMPREHENSIVE PLAN: Community Mixed Use, Parks & Green Systems

MAXIMUM BUILDING HEIGHT

The lesser of 4 stories or 65’

NON-RESIDENTIAL SQUARE FOOTAGE

MAXIMUM: 80,000 SF

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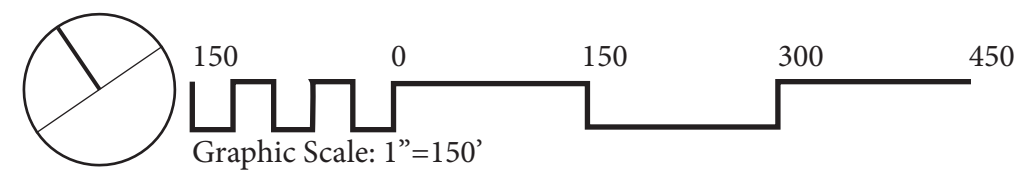
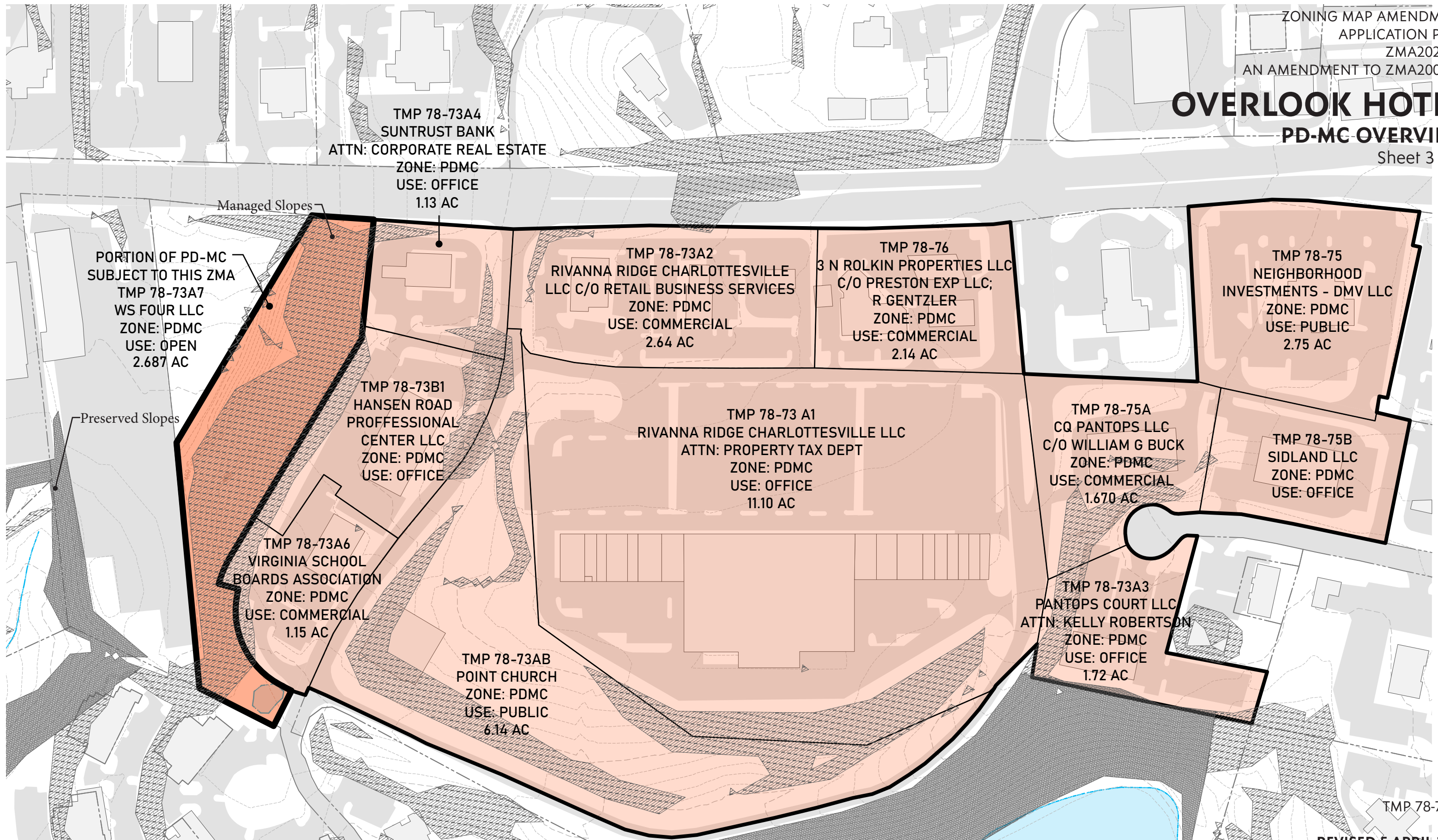
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# OVERLOOK HOTEL

## PD-MC OVERVIEW

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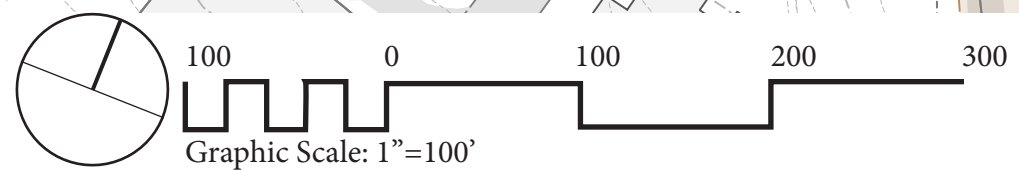
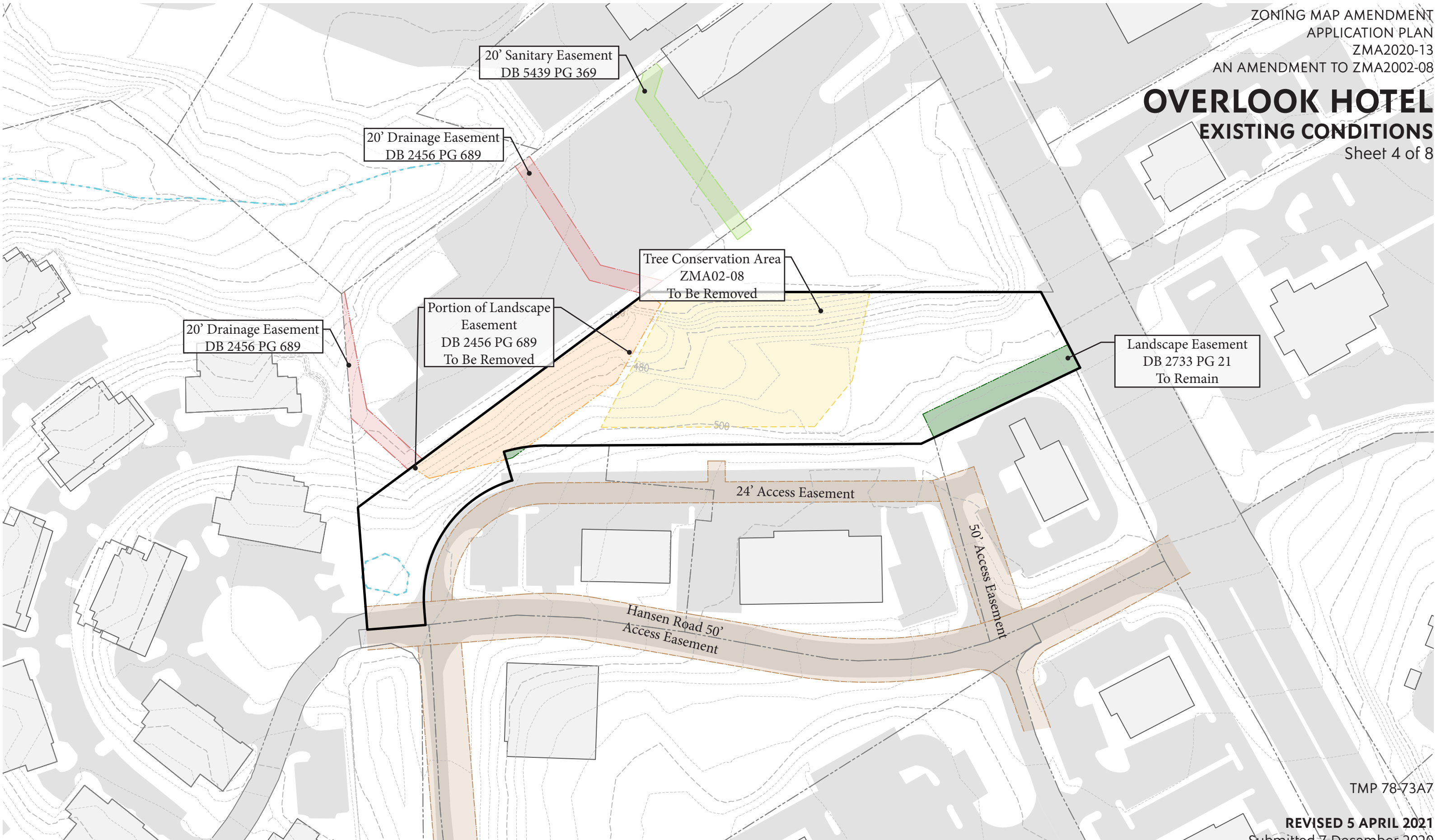
**SHIMP ENGINEERING, P.C.**



# OVERLOOK HOTEL

## EXISTING CONDITIONS

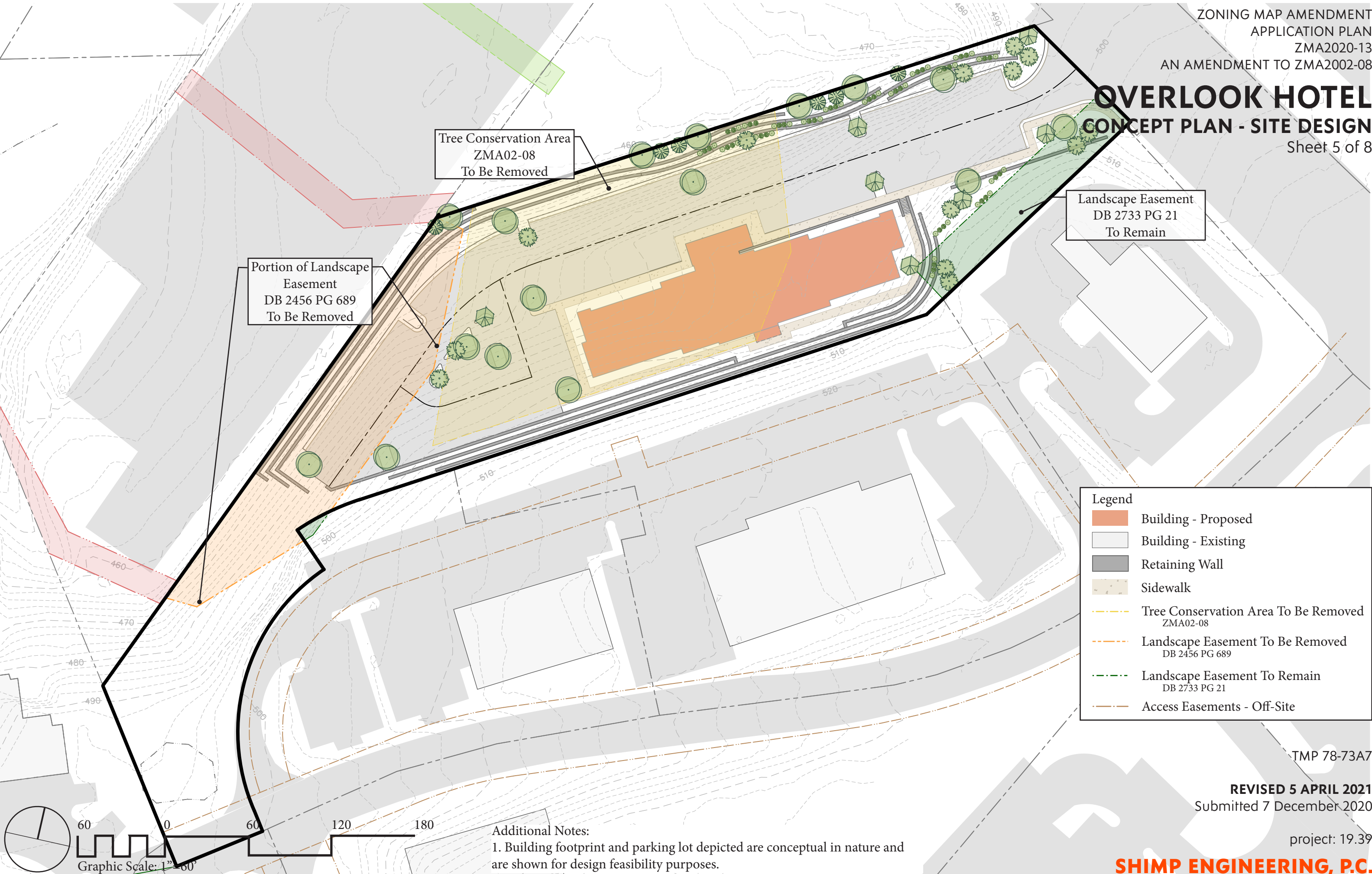
Sheet 4 of 8



# OVERLOOK HOTEL

## CONCEPT PLAN - SITE DESIGN

Sheet 5 of 8



Tree Conservation Area  
ZMA02-08  
To Be Removed

Portion of Landscape  
Easement  
DB 2456 PG 689  
To Be Removed

Landscape Easement  
DB 2733 PG 21  
To Remain

**Legend**

- Building - Proposed
- Building - Existing
- Retaining Wall
- Sidewalk
- Tree Conservation Area To Be Removed  
ZMA02-08
- Landscape Easement To Be Removed  
DB 2456 PG 689
- Landscape Easement To Remain  
DB 2733 PG 21
- Access Easements - Off-Site

Additional Notes:  
1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.

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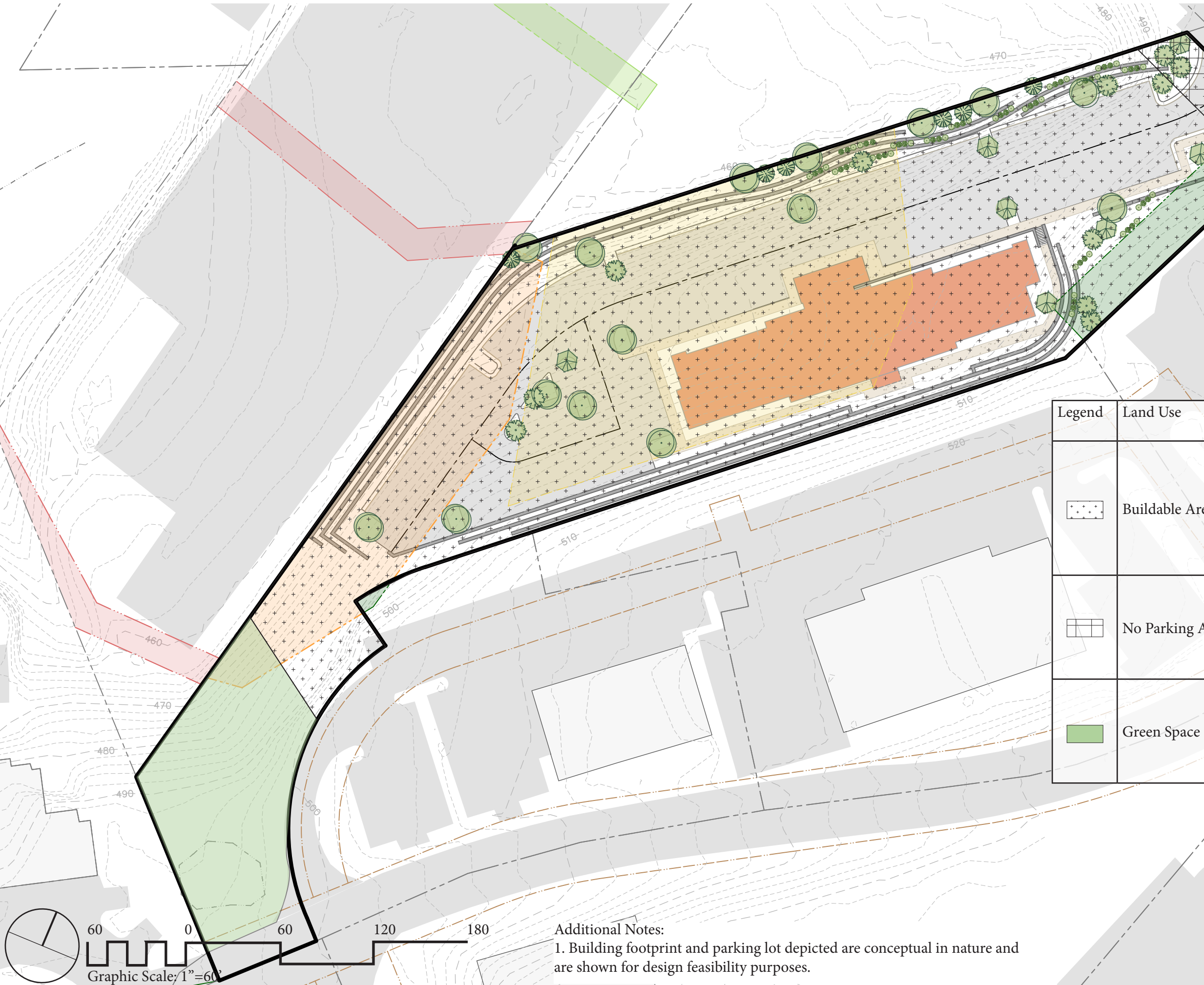
**SHIMP ENGINEERING, P.C.**



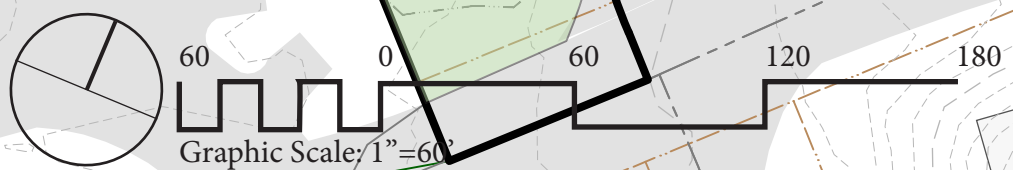
# OVERLOOK HOTEL

## CONCEPT PLAN - LAND USE

Sheet 6 of 8



Legend	Land Use	Prohibited Uses	Permitted Uses
	Buildable Area	None	Commercial buildings, signage, grading, landscaping, open space, utilities, open-air surface parking, structured parking, parking areas, travelways, ingress/egress to the site, etc.
	No Parking Area	Open-air surface parking, structured parking	Commercial buildings, signage, grading, landscaping, open space, utilities, travelways, ingress/egress to the site, etc.
	Green Space	Commercial buildings and associated uses	Signage, grading, retaining walls, landscaping, utilities



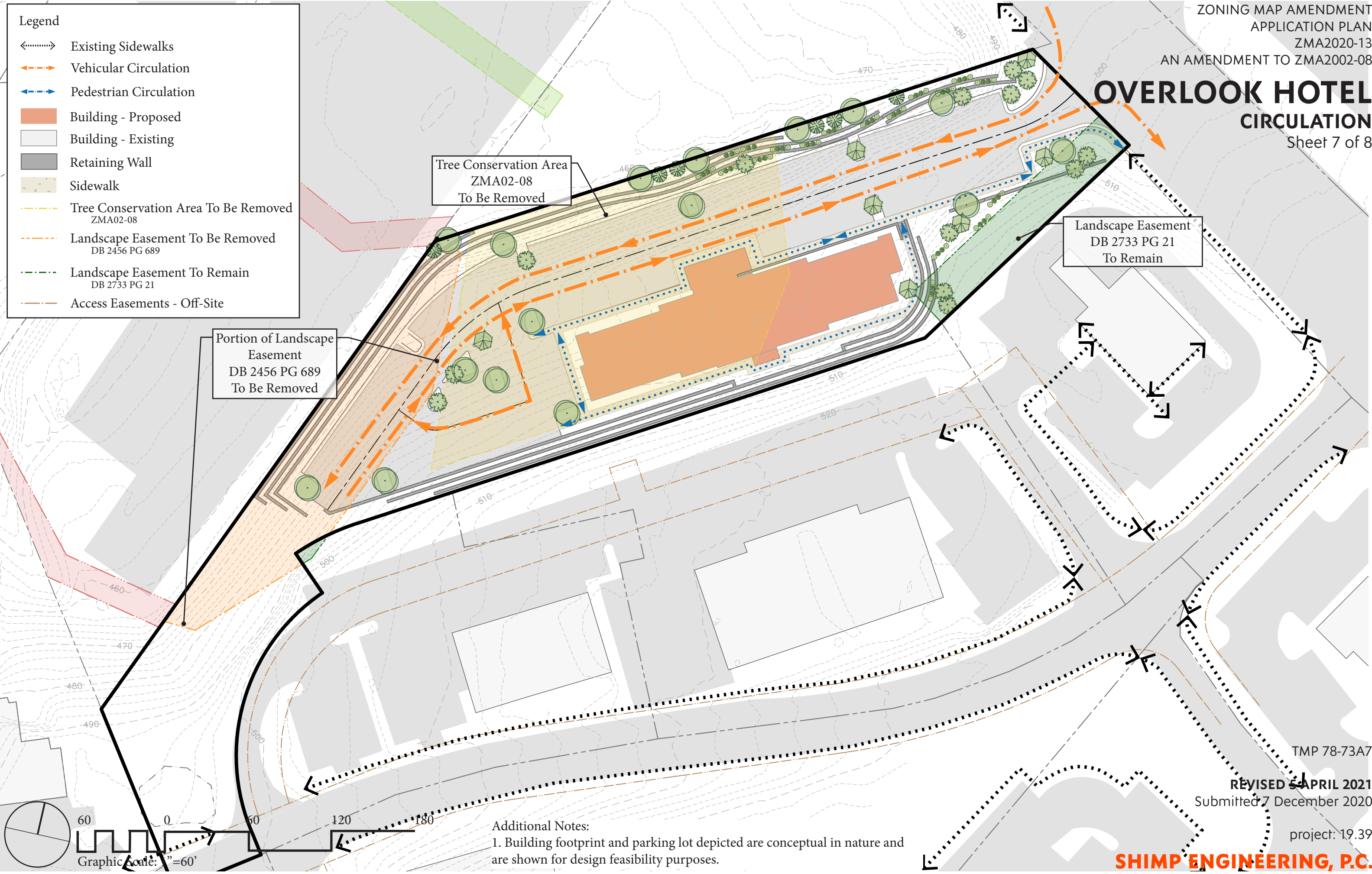
Additional Notes:  
1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.



# OVERLOOK HOTEL CIRCULATION

Sheet 7 of 8

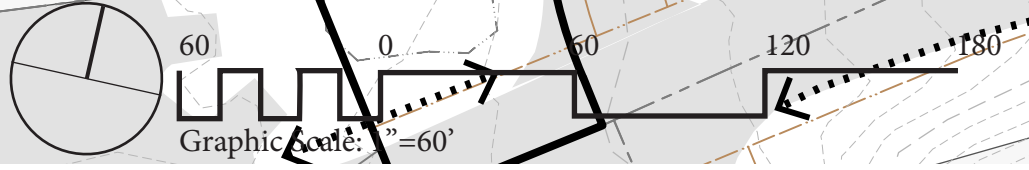
- Legend**
- Existing Sidewalks
  - Vehicular Circulation
  - Pedestrian Circulation
  - Building - Proposed
  - Building - Existing
  - Retaining Wall
  - Sidewalk
  - Tree Conservation Area To Be Removed ZMA02-08
  - Landscape Easement To Be Removed DB 2456 PG 689
  - Landscape Easement To Remain DB 2733 PG 21
  - Access Easements - Off-Site



Portion of Landscape Easement  
DB 2456 PG 689  
To Be Removed

Tree Conservation Area  
ZMA02-08  
To Be Removed

Landscape Easement  
DB 2733 PG 21  
To Remain



Additional Notes:  
1. Building footprint and parking lot depicted are conceptual in nature and are shown for design feasibility purposes.

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## Sheet 8 of 8

20' Sanitary Easement  
DB 5439 PG 369

CONNECT SANITARY TO  
EXISTING ACSA UTILITY  
THROUGH ADJOINING  
PARCEL

TW 80 BW 70  
TW 90 BW 80

TW 74 BW 64  
TW 84 BW 74

TW 66 BW 60  
TW 75 BW 67  
TW 82 BW 76

TW 68 BW 62  
TW 75 BW 69  
TW 82 BW 74

20' Drainage Easement  
DB 2456 PG 689

TW 69 BW 63  
TW 76 BW 70  
TW 83 BW 77

## UNDERGROUND STORMWATER TREATMENT & DETENTION STRUCTURES

FFE 493

TW 09 BW 03

TW 97 BW 91  
TW 04 BW 98  
TW 11 BW 05




TW 93 BW 87  
TW 00 BW 94  
TW 07 BW 01

TW 99 BW 93  
TW 06 BW 00

- TW 93 BW 87  
TW 00 BW 94  
TW 07 BW 01

-TW 92 BW 86  
TW 99 BW 93  
TW 06 BW 00

### Legend

-  Building - Proposed
-  Building - Existing
-  Retaining Wall
-  Sidewalk
-  Steep Slopes - Managed
-  Steep Slopes - Preserved
-  Tree Conservation Area To Be Removed  
ZMA02-08
-  Landscape Easement To Be Removed  
DB 2456 PG 689
-  Landscape Easement To Remain  
DB 2733 PG 21
-  Access Easements - Off-Site

2. Top of wall/bottom of wall elevations are shown to demonstrate compliance with maximum wall heights denoted in Sec. 18-4.3.3(A)1 and Sec. 18-30.7.5(A)1, respectively and are conceptual in nature.

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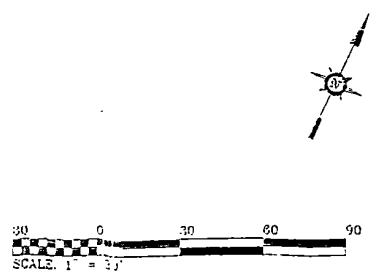
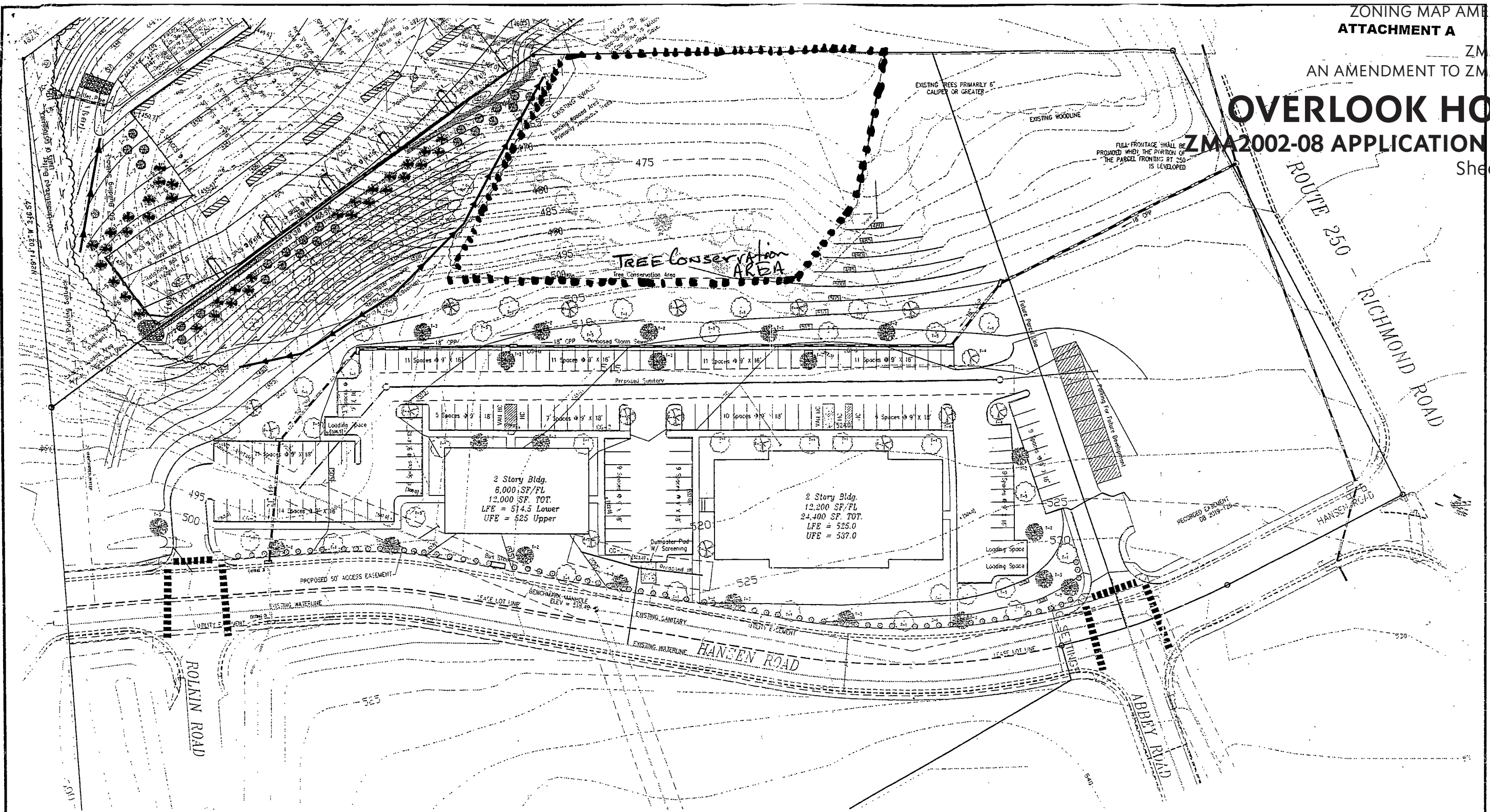




# OVERLOOK HOTEL

## ZMA2002-08 APPLICATION PLAN

Sheet 1 of 2



Project Title: PRELIMINARY SITE DEVELOPMENT PLANS FOR OFFICE AT SOUTH PANTOPS RIVANNA DISTRICT, ALBEMARLE COUNTY, VIRGINIA		RIVANNA ENGINEERING & SURVEYING, PLC. P.O. BOX 7803 CHARLOTTEVILLE VA 22006 PHONE: (434) 984-1599 FAX: (434) 984-8100 E-Mail: RES@CUSTONET.NET	
Sheet No: <b>S2 of 2</b>	Drawing Title: <b>CONCEPTUAL PLAN</b>	Revisions 1. REVISED 5 APRIL 2021 2. SUBMITTED 7 DECEMBER 2020	
Scale: AS SHOWN	Drawn by: JMS	File Name: 05A-12	Project ID: 1608



