

ALBEMARLE COUNTY PLANNING
STAFF REPORT SUMMARY

Proposal: SP202000016 Claudius Crozet Park	Staff: Andy Reitelbach, Senior Planner
Planning Commission Public Hearing: March 23, 2021	Board of Supervisors Hearing: To be determined
Owner: Claudius Crozet Park, Inc.	Applicant: Claudius Crozet Park, Inc.
Acreage: 22.806 acres	Special Use Permit for: Request to amend existing special use permit SP199500043 for a community center and swim, golf, tennis, or similar athletic facilities under Sections 10.2.2.1, 10.2.2.4, 16.2.2.1, and 16.2.2.4 of the Zoning Ordinance.
TMPs: 056A2010007200; 056A20100072A0; 056A20400000A4 Location: 1075 Claudius Crozet Park, Crozet, Virginia 22932	Zoning/by-right use: TMPs 56A2-01—72 and 56A2-01—72A: RA, Rural Areas – agricultural, forestal, and fishery uses; residential density (0.5 unit/acre in development lots). TMP 56A2-04—A4: R-6 Residential – 6 units/acre.
Magisterial District: White Hall	Conditions: Yes EC: Partially (TMP 56A2-04--A4 only)
School Districts: Western Albemarle High, Henley Middle, Crozet Elementary	
Proposal: Request to amend existing special use permit SP199500043 in order to expand the existing community center at Crozet Park with a fitness center and pool expansion, along with additional parking spaces and pedestrian connections. Special Exception to Section 5.1.16(a) of the Zoning Ordinance to modify the setback requirements for swimming pools from nearby property lines and existing dwellings.	Requested # of Dwelling Units: No dwelling units proposed.
DA: X (Crozet) RA:	Comp. Plan Designation: Greenspace – public parks, open space, environmental features; in the Community of Crozet Master Plan area.
Character of Property: Existing park with various facilities, including a community center, a swimming pool, athletic fields, walking trails, and other amenities, on 22.806 acres. Pond with WPO buffer on the west side of property.	Use of Surrounding Properties: Existing subdivisions of single-family detached houses on all sides. County-owned parcel with dog park at the northeast corner of the park. Glenbrook subdivision under construction to the northeast.
Factors Favorable: 1. The proposed use is consistent with the Crozet Master Plan. 2. The proposed use is located within the Development Areas and is consistent with the uses identified for areas designated as Greenspace.	Factors Unfavorable: 1. The use will generate additional vehicular trips on the surrounding local street network.

RECOMMENDATIONS:

Special Use Permit: Staff recommends approval of SP202000016, Claudius Crozet Park, with conditions.

Special Exception: Staff recommends approval, with conditions, of the request for a special exception to §18-5.1.16(a) of the Zoning Ordinance to modify the requirements for the setback of swimming pools from nearby property lines.

STAFF CONTACT: Andy Reitelbach, Senior Planner
PLANNING COMMISSION: March 23, 2021
BOARD OF SUPERVISORS: TBD

PETITION

PROJECT: SP202000016 Claudius Crozet Park

MAGISTERIAL DISTRICT: White Hall

TAX MAP/PARCEL(S): 056A2010007200; 056A20100072A0; 056A20400000A4

LOCATION: 1075 Claudius Crozet Park, Crozet, Virginia 22932

PROPOSAL: Request to amend existing special use permit SP199500043 in order to expand the existing community center at Crozet Park with a fitness center and a pool expansion, along with additional parking spaces and pedestrian connections.

PETITION: Special Use Permit request for a community center and swim, golf, tennis, or similar athletic facilities in accordance with Sections 10.2.2.1, 10.2.2.4, 16.2.2.1, and 16.2.2.4 of the Zoning Ordinance, on three parcels totaling approximately 22.806 acres. No dwelling units proposed. Associated request for a Special Exception to Section 5.1.16(a) of the Zoning Ordinance to modify the requirements for the setback of swimming pools from nearby property lines and existing dwellings.

ZONING: RA, Rural Areas - agricultural, forestal, and fishery uses; residential density (0.5 unit/acre in development lots); and R-6 Residential – 6 units/acre

OVERLAY DISTRICT(S): EC – Entrance Corridor; Steep Slopes – Managed; Steep Slopes – Preserved

COMPREHENSIVE PLAN: Greenspace – public parks, open space, environmental features; in the Community of Crozet Master Plan area.

CHARACTER OF SURROUNDING AREA

The Claudius Crozet Park property consists of three contiguous parcels totaling approximately 22.806 acres. The park is located to the southeast of downtown Crozet, between Park Road to the south and Hill Top Street and Indigo Road to the north, about 2,100 feet east of Crozet Avenue. (See Attachment 1 – Location Map.) There is a wide range of park facilities currently situated on the property, including a community center, a pool, ball fields, tennis courts, and pedestrian paths, among other amenities. There is a pond with a WPO stream buffer surrounding it on the west side of the park property. Most of the park property is zoned RA, Rural Areas. However, TMP 56A2-04-00-A4, a narrow parcel situated along the south side of Indigo Road from its intersection with Hill Top Street, is zoned R-6 residential. (See Attachment 2 – Zoning Map.)

The parcels to the north and northeast of the park, which are largely part of the Parkside Village and Glenbrook subdivisions, are zoned R-6 residential as well. These parcels consist of single-family detached houses either existing or currently under construction. To the northwest, west, and south of the park, along Hill Top Street, Myrtle Street, and Park Road, are single-family detached houses zoned R-2 residential. Directly to the east of the park are parcels that largely consist of single-family detached houses, zoned R-4 residential. Adjacent to the northeast corner of the park is a property owned by the County of Albemarle, zoned R-4, that is home to a dog park. Farther to the southeast of the park, along Park Road, are a mobile home community and the Westhall development, which are zoned R-6 residential.

PLANNING AND ZONING HISTORY

The property is zoned RA, Rural Areas, and R-6 Residential. There have been several previous actions taken by the Board for the subject property.

- **SP1995-00043** – The original special use permit for Claudius Crozet Park, approved by the Board of Supervisors on February 21, 1996, which brought the existing park facilities into conformance with the Zoning Ordinance, as well as permitted several improvements, such as a new pool, play fields, walking trails, and parking areas. A waiver was also granted to permit the pool to be closer to property lines than required by Section 5.1.16(a) of the Zoning Ordinance. Prior to this action, many of the existing park facilities were considered to be non-conforming uses.
- **Special Exceptions Associated with SDP2018-00077 Crozet Park Phase III – Athletic Field Improvements** – Two special exception requests were approved by the Board of Supervisors on January 9, 2019: 1) to waive the outdoor lighting standards requiring the use of full cutoff luminaires for the proposed outdoor lighting at an athletic facility; and 2) to modify (increase) the maximum permissible height for proposed poles supporting outdoor luminaires at an athletic facility. The submitted Special Use Permit amendment does not propose to amend these special exceptions.

There have also been several by-right site plan amendments approved for this property, such as changes to the athletic fields or parking lot.

In addition, TMP 56A2-04-00-A4 (the narrow parcel along Indigo Road) was added to the park on January 25, 2007, with the development of the Parkside Village subdivision. The original park property comprised TMPs 56A2-01-00-72 and 56A2-01-00-72A.

DETAILS OF THE PROPOSAL

The applicant has requested an amendment to the previously-approved special use permit (SP1995-00043) to permit an expansion of the community center and pool facilities. The applicant is also proposing several new pedestrian pathways, an expanded parking lot to accommodate the enlarged facilities, and new basketball courts. The applicant also proposes to convert the entrance into the park from Hill Top Street, which is currently used only for emergency access and special events, into a second full access point. Currently, the only full access point into the park is from Park Road. (See Attachment 3 – Project Narrative and Attachment 4 – Concept Plan.)

The proposed new community center would be two stories and approximately 34,200 square feet, including spaces for an exercise facility and a meeting room. The pool expansion would include an 8-lane pool located in an indoor space of approximately 12,600 square feet. The outdoor pool facility would also remain, so there would eventually be two pools in the park. The applicant is proposing several new pedestrian pathways around the park to provide connectivity both among the various park facilities and with the trails and sidewalks along the perimeter of the park that lead to surrounding areas of the community. New basketball courts are also being proposed for the area north of the pools and community center. Additional landscaping and vegetation is proposed for screening purposes around the northwest, north, and east sides of the new facilities, as well as along the perimeter of the site near Indigo Road.

The applicant has also requested a Special Exception of the supplemental regulations for swimming, golf, or tennis clubs that are found in Section 5 of the Zoning Ordinance. In accordance with the supplemental regulations to which swimming uses are subject, §18-5.1.16, swimming pools shall be at least 75 feet from the nearest property line and at least 125 feet from any existing dwelling on an adjoining property. The existing outdoor pool is proposed to remain. However, the proposed new indoor pool structure will be located 30 feet from the nearest property line and approximately 160 feet from the nearest existing dwelling, as shown on the concept plan. Although the proposed new pool will be located indoors, it is still subject to

the requirement that it be located at least 75 feet from the nearest property line. Because the applicant is proposing that it be located 30 feet from such a property line, the applicant has requested this special exception.

In addition, it is important to note that there is an existing operating agreement and restrictive covenant between Claudius Crozet Park, Inc., and the County of Albemarle, dated March 25, 1997. (See Attachment 6 for a copy of this agreement.) The applicant is not proposing to amend this existing agreement. The County's Parks and Recreation department has reviewed this application and is also not proposing any amendments to the existing operating agreement.

COMMUNITY MEETING

In light of the COVID-19 pandemic, community input on this project was solicited through a virtual community meeting held via Zoom, on Wednesday, October 14, 2020, in conjunction with a regularly scheduled meeting of the Crozet Community Advisory Committee (CCAC). Project information was also posted on PublicInput.com.

There were several concerns raised by community members about the proposal during the community meeting. Additional comments regarding the project were provided to staff via email in the months since the community meeting was held. (See Attachment 7 for a compilation of written comments provided by community members or other interested parties.) Concerns raised by community members are also summarized below.

Traffic Impacts:

1. Additional traffic will be generated from the proposed expansion of the park facilities.
2. Impact of construction traffic on the surrounding streets and neighborhoods, especially along Hill Top Street.
3. Impact of opening the Hill Top Street entrance as a permanent point of ingress/egress on the traffic and safety along that road and the surrounding street network.

Screening of Uses:

1. Concern about noise pollution from both the existing outdoor pool and the proposed new community center and pool facilities.
2. Concern about the loss of trees and other screening vegetation in the park, especially near the Indigo Road frontage, as well as the impact this loss of vegetation would have on surrounding properties with the expansion of the facilities.

Parking:

1. Concern about the large increase in the amount of parking proposed on the site, and the impermeable surfaces created in the park as a result of this increase in parking spaces.

ANALYSIS OF THE SPECIAL USE PERMIT REQUEST

Special Use Permits are evaluated under reasonable standards, based on zoning principles, which include the proposal's compliance with the Comprehensive Plan. Any impacts caused by the proposal may be addressed through conditions, and those conditions must be reasonably related and roughly proportional to the impacts.

Section 33.39(B) of the Zoning Ordinance states that the Planning Commission, in making its recommendation, shall consider the same factors found in Section 33.40 (B):

1. No substantial detriment. Whether the proposed special use will be a substantial detriment to adjacent parcels.

This site has been used for public and community purposes for many years, and this request does not represent the introduction of a new use in the area. The existing community center is proposed to be replaced with a larger facility, and a second swimming pool, which will be indoors, is proposed to be constructed in addition to the pool already present.

There is the potential for increased light and noise pollution produced by this proposal due to the expansion of the park facilities and the expected greater amount of use by the public of these facilities. In addition, some of the existing landscaping is proposed to be removed for construction of this use. Staff has included several conditions for lighting and landscaping intended to mitigate any potential noise or light pollution that might be produced by this proposed expansion.

The park, including the proposed new facilities, will have to abide by the outdoor lighting regulations found in §18-4.17 of the Zoning Ordinance and the noise regulations found in §18-4.18 of the Zoning Ordinance. In addition, at the site planning stage, a lighting plan and a landscaping plan in accordance with the Zoning Ordinance will have to be submitted, subject to review and approval by Planning and Zoning staff.

This application has been reviewed by VDOT, which has no objections to the proposed use. However, VDOT has indicated that any improvements made to the site entrances, including the potential for turning lanes, will be reviewed at the site planning stage and must meet all VDOT standards and regulations.

In addition, this application has been reviewed by the County's Transportation Planning team. A Traffic Impact Analysis was not required because the proposed expansion of the facility is not expected to generate a level of trips that would require that type of analysis. The application, referencing the Institute of Traffic Engineers Trip Generation Manual, expects the expansion to generate approximately 985 vehicle trips/day. Further, it should be noted that this type of use does not typically have the same peak hour for trip generation as the peak hour for the adjacent roadways.

Although the development will generally add trips to the adjacent roadways this addition is not expected to significantly affect delays or queuing at the nearby intersections. County staff requested, and the applicant has agreed to, enhancing the connectivity of the pedestrian facilities on the site in order to improve the ability of the public to access the facility by walking. The location of the of Crozet Park as central to a large residential area, and the recreational nature of the use makes it likely that many visitors will choose to walk to the facility. These pedestrian enhancements include extending the paved pathways out to the edges of the property making it easy to connect future sidewalks to as well as internal paths throughout the site.

The proposed opening of the northern access point of the park to connect to Hilltop Street will serve to disperse the traffic onto multiple roads and provide more direct access for many of the visitors. This will benefit overall traffic flow around the park while the indirect path of the travelway through the site will reduce the likelihood of its use as a cut-through for vehicular traffic. This is considered by staff as a better option than the existing single point of public access to the park and facility.

2. Character of the nearby area is unchanged. Whether the character of the adjacent parcels and the nearby area will be changed by the proposed special use.

This request does not represent the introduction of a new use into the area, but is an expansion of existing uses, and therefore is not expected to change the character of the nearby area. However, due to the potential effects of light and noise pollution from the expected increase in use of the site, staff has proposed several conditions to mitigate any potential impacts on the nearby area. The applicant will also have to meet all the requirements of the Zoning Ordinance, as well as the regulations of partner agencies such as ACSA and VDOT, at the site planning stage.

3. Harmony. Whether the proposed special use will be in harmony with the purpose and intent of this chapter,

The current use of the property is a park open to the community for a wide range of recreational, athletic, and other social opportunities. The proposed use, an expansion of park facilities, will be in harmony with the purpose and intent of the ordinance as it will continue to provide these recreational activities and opportunities to the Crozet community.

...with the uses permitted by right in the district,

It is not anticipated that the expansion of the community center and pool facilities will negatively affect any uses permitted by right in the zoning district. The property will remain a park offering recreational and social activities to the Crozet community.

...with the regulations provided in Section 5 as applicable,

The proposal demonstrates compliance with the applicable supplemental regulations contained in Sections 5.1.04 (*Community center*) and 5.1.16 (*Swimming, golf, tennis clubs*) of the Zoning Ordinance, except for those required by subsection 5.1.16(a) of Chapter 18, from which the applicant is requesting a special exception (see Attachment 3, Part V.).

SECTION 5.1.16 – SWIMMING, GOLF, TENNIS CLUBS.

- a. The swimming pool, including the apron, filtering and pumping equipment, and any buildings, shall be at least 75 feet from the nearest property line and at least 125 feet from any existing dwelling on an adjoining property, except that, where the lot upon which it is located abuts land in a commercial or industrial district, the pool may be constructed no less than 25 feet from the nearest property line of such land in a commercial or industrial district;**

Section 5.1.16(a) requires that swimming pools and associated equipment be located at least 75 feet from the nearest property line and at least 125 feet from any existing dwelling on an adjoining property. The intent of this requirement is to protect surrounding properties from any noise that may be generated by this use.

The existing outdoor pool and its apron are proposed to remain in the same location. However, the proposed new swimming pool is proposed to be 30 feet from the nearest property line, which is residential, instead of the required 75 feet. The new swimming pool does meet the requirement of being at least 125 feet from the nearest dwelling, as the concept plan shows the new pool to be approximately 160 feet from the nearest dwelling. As such, the applicant has requested a special exception to 18-5.1.16(a) to modify the requirement to allow the pool to be located closer than 75 feet to the nearest property line.

The proposed new pool will be located indoors, so the building structure should mitigate much of the light or sound produced from this new swimming facility. In addition, the applicant is not proposing any outdoor lighting on the side of the pool building nearest the property line (the northwest corner) and is proposing additional landscaping around the northwest corner to further mitigate any lighting or noise impacts from the pool. The applicant will also be required to meet all sound and lighting standards found in Sections 4.17 and 4.18 of the Zoning Ordinance, as well as landscaping requirements, at the site planning stage.

Therefore, based on the applicant's intent to locate the proposed new pool within a building, as well as provide additional vegetative buffers near the closest property line, staff supports the special exception request to allow the proposed use of a swimming pool to be located less than 75 feet from the nearest property line.

Additional regulations contained in Section 5.1.16 require:

- b. When the lot on which any such pool is located abuts the rear or side line of, or is across the street from, any residential district, a substantial, slightly wall, fence, or shrubbery shall be erected or planted, so as to screen effectively said pool from view from the nearest property in such residential district;**

The applicant has depicted screening landscaping surrounding the existing and proposed pool facilities on the concept plan. In addition, staff has included a condition with this special use permit requiring that landscaping be installed to screen the pool facilities from nearby residential districts.

- c. (Repealed 6-14-00)**

- d. The board of supervisors may, for the protection of the health, safety, morals and general welfare of the community, require such additional conditions as it deems necessary, including but not limited to provisions for additional fencing and/or planting or other landscaping, additional setback from property lines, additional parking space, location and arrangement of lighting, and other reasonable requirements;**

Staff has included several conditions with this special use permit request that relate to lighting and sound attenuation for the pool facilities for the Board of Supervisors to consider.

- e. Provision for concessions for the serving of food, refreshments or entertainment for club members and guests may be permitted under special use permit procedures.**

The applicant has indicated that concessions are proposed to be served at two areas in the park (see note 12 on sheet 4 of the concept plan). However, these two areas proposed to serve concessions have not been identified on the site layout of the concept plan. Staff has requested that the applicant identify these two areas on the concept plan (see the "Recommended Revisions" section later in this staff report). Staff has also included a condition with this special use permit limiting concession sales to these two areas only, pending further review once the concession areas have been identified on the plan.

SECTION 5.1.04 – COMMUNITY CENTER.

Any such use seeking public funding shall be reviewed by the commission in accordance with section 31.2.5. Specifically, the commission shall find that the proposed service area is not already adequately served by another such facility. In addition, the commission shall be mindful that such use is appropriate to villages, communities and the urban area of the comprehensive plan.

In addition to the supplemental regulations found in 5.1.16 for swimming, tennis, or golf clubs, the requested use is also subject to the above-stated supplemental regulation for the community center use. At this time, the applicant is not seeking public funding for the community center use, so this regulation is not applicable.

As mentioned previously, there is an existing operating agreement (Attachment 6) between Claudius Crozet Park, Inc., and the County regarding this property. Neither the applicant nor the County is proposing any changes to this agreement at this time.

...and with the public health, safety, and general welfare.

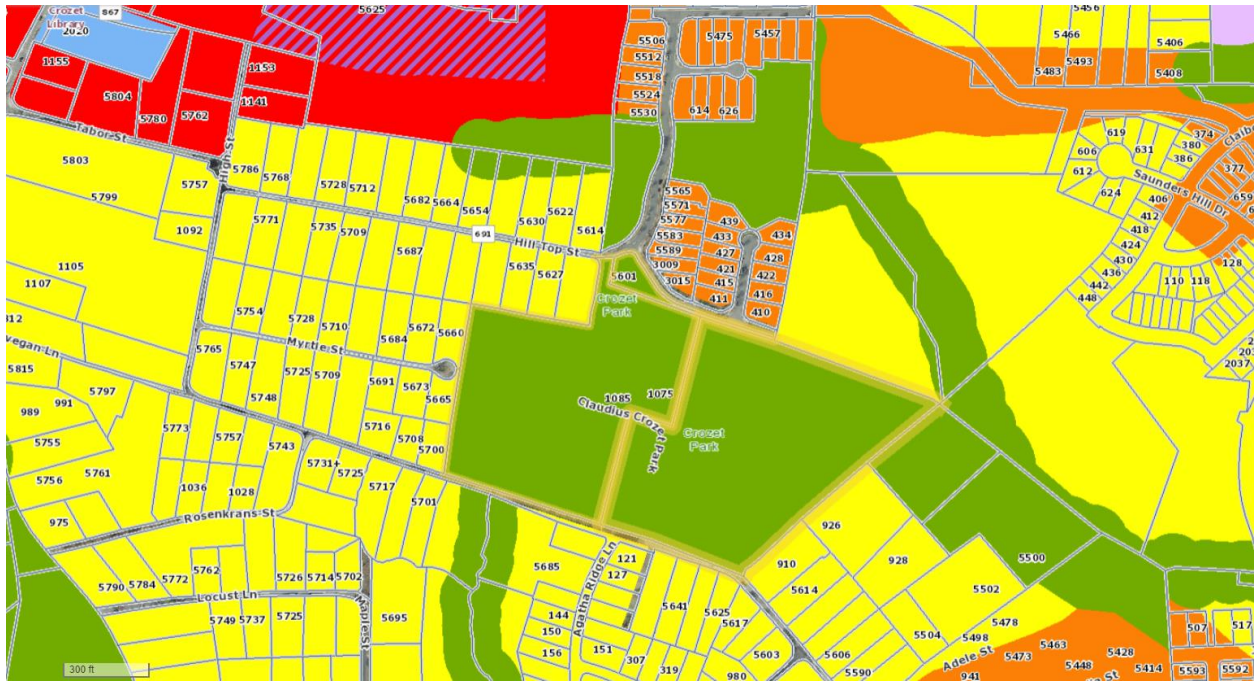
Based on information provided by the applicant, in coordination with the conditions recommended by staff, staff finds that the proposed use will not be a detriment to public health, safety, or general welfare.

In addition, the Albemarle County Service Authority and Albemarle County Fire-Rescue have reviewed this proposal and have indicated no objections to the applicant's requests.

4. Consistency with the Comprehensive Plan. Whether the proposed special use will be consistent with the Comprehensive Plan.

The three subject parcels of this special use permit request are all designated as "Greenspace" in the Crozet master plan (see map below). "Greenspace" (which is green in the map below) recommends public parks, open space, and environmental features. The property is currently a community park, operating under an agreement with the County, as mentioned previously, providing recreational opportunities and open space for the Crozet community, as well as protecting environmental features such as a pond and stream buffer and preserved steep slopes. The proposed use of expanding the community center and pool facilities at the park remains consistent with the Comprehensive Plan.

See also Attachment 5 for staff's analysis of the proposal's consistency with the Neighborhood Model Principles that are found in the Comprehensive Plan.



RECOMMENDED REVISIONS

There are several revisions recommended by staff to the concept plan to clarify the plan and ensure there are minimal impacts, which should be completed prior to the public hearing with the Board of Supervisors:

1. In Note #12 on sheet 4 of the concept plan, the applicant states that concessions will be provided at two locations within the park. However, these locations are not identified on the site layout of the park. In order to ensure compliance with 18-5.1.16(e), the applicant needs to label the locations of proposed concessions sales on the concept plan for staff to analyze. Staff has also included a condition limiting concessions sales to these areas, pending further review of their actual identified location.
2. The Building Inspections division has requested that the following notes be added to the plan:
 - a. Sheet 1, building separation references wrong code and section. Refer to current code and section.
 - b. Add the following to the general notes page: All roof drains shall discharge in a manner not to cause a public nuisance and not over sidewalks.
3. Include a note on the cover sheet of the concept plan that this property is subject to the two special exceptions approved by the Board in association with SDP2018-00077 and that these special exceptions are not being modified with this application.
4. Either the landscaping buffer area or the public utility lines shown on the west side of the proposed pool expansion need to be slightly relocated to avoid conflicts.

SUMMARY

Staff finds the following factors favorable to this request:

1. The proposed use is consistent with the Crozet Master Plan.
2. The proposed use is located within the Development Areas and is consistent with the uses identified for areas designated as Greenspace.

Staff finds the following factors unfavorable to this request:

1. The use will generate additional vehicular trips on the surrounding local street network; however, the applicant is proposing additional pedestrian paths throughout the park to provide better connections with the surrounding neighborhood and promote other modes of transportation.

RECOMMENDED ACTION for SP202000016

Based on the findings described in this staff report and factors identified as favorable, **staff recommends approval of special use permit application SP202000016, Claudius Crozet Park, with the following conditions**, provided that the above-mentioned “recommended revisions” are made to the application prior to a public hearing with the Board of Supervisors:

1. Development of the use must be in general accord (as determined by the Director of Planning and the Zoning Administrator) with the concept plan entitled, “Claudius Crozet Park, Special Use Permit (SP2020-00016), Development Concept Plan, White Hall District, Albemarle County, Virginia,” prepared by Collins Engineering, dated August 17, 2020, last revised November 16, 2020. To be in general accord with the exhibit, development must reflect the following essential major elements:
 - Location of the existing buildings and proposed building additions
 - Location of the outdoor recreational fields and facilities
 - Location of the pools
 - Location of the parking areas
 - Location of the pedestrian pathsMinor modifications to the plan which do not conflict with the elements above may be made to ensure compliance with the Zoning Ordinance.
2. Fencing adjacent to the outdoor pool shall provide screening from adjacent residential areas.
3. The sound from any radio, recording device, public address system, or other speaker shall be limited to sixty (60) decibels at the nearest residential property line (excluding TMP 056A2-04-00-000A4), except for the period of 10:00 p.m. to 7:00 a.m., during which the aforementioned sound shall be limited to fifty-five (55) decibels.
4. Free-standing outdoor lighting is not permitted on the west side of the proposed recreation center and pool expansion.
5. Sales of concessions must be limited to the two locations identified on the concept plan.
6. Walls made of glass, or other transparent materials, are not permitted on the north or west sides of the proposed recreation center and pool expansion.

7. Screening landscaping must be provided along the east and north sides of the existing pool and the north side of the proposed pool expansion, as shown on the concept plan.
8. A landscaping buffer area must be planted on the west side of the proposed pool expansion, as shown on the concept plan, to screen it from nearby residential areas.
9. A landscaping buffer area must be planted to the north and northeast of the proposed basketball courts and existing tennis courts to screen the new facilities from nearby residential areas.

SPECIAL EXCEPTION REQUEST – Setback of Swimming Pool

The applicant is requesting a special exception to modify the requirements of §18-5.1.16(a) of the Zoning Ordinance to allow the new swimming pool to be setback less than 75 feet from the nearest property line. Staff analysis of this request is included above, in “3. *Harmony. Whether the proposed special use will be in harmony with the purpose and intent of this chapter...with the regulations provided in Section 5 as applicable.*”

RECOMMENDED ACTION for the Special Exception Request

Based on the analysis contained herein, **staff recommends approval of the special exception request to modify the requirements of §18-5.1.16(a) of the Zoning Ordinance to allow the new swimming pool to be setback less than 75 feet from the nearest property line, with the following conditions:**

1. Development of the use must be in general accord (as determined by the Director of Planning and the Zoning Administrator) with the concept plan entitled, “Claudius Crozet Park, Special Use Permit (SP2020-00016), Development Concept Plan, White Hall District, Albemarle County, Virginia,” prepared by Collins Engineering, dated August 17, 2020, last revised November 16, 2020. To be in general accord with the exhibit, development must reflect the following essential major elements:
 - Location of the existing buildings and proposed additions
 - Location of the outdoor recreational fields and facilities
 - Location of the pools
 - Location of the parking areas
 - Location of the pedestrian pathsMinor modifications to the plan which do not conflict with the elements above may be made to ensure compliance with the Zoning Ordinance.
2. Free-standing outdoor lighting is not permitted on the west side of the proposed pool expansion.
3. Walls made of glass, or other transparent materials, are not permitted on the north or west sides of the proposed pool expansion.
4. Screening landscaping must be provided along the north side of the proposed pool expansion, as shown on the concept plan.
5. A landscaping buffer area must be planted on the west side of the proposed pool expansion, as shown on the concept plan.

ATTACHMENTS

Attachment 1 – Location Map

Attachment 2 – Zoning Map

Attachment 3 – Project Narrative, dated August 17, 2020; last revised November 16, 2020

Attachment 4 – Concept Plan, dated August 17, 2020; last revised November 16, 2020

Attachment 5 – Analysis of Neighborhood Model Principles

Attachment 6 – Crozet Park Agreement

Attachment 7 – Community Member Correspondence

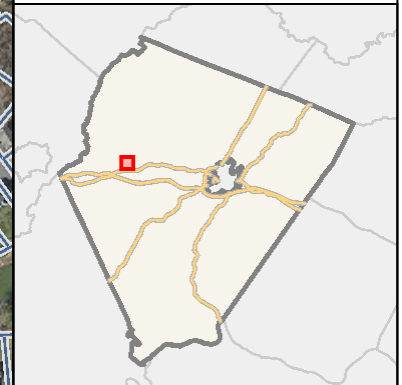
Attachment 1 - SP2020-00016 Claudius Crozet Park - Location Map



Legend
 (Note: Some items on map may not appear in legend)

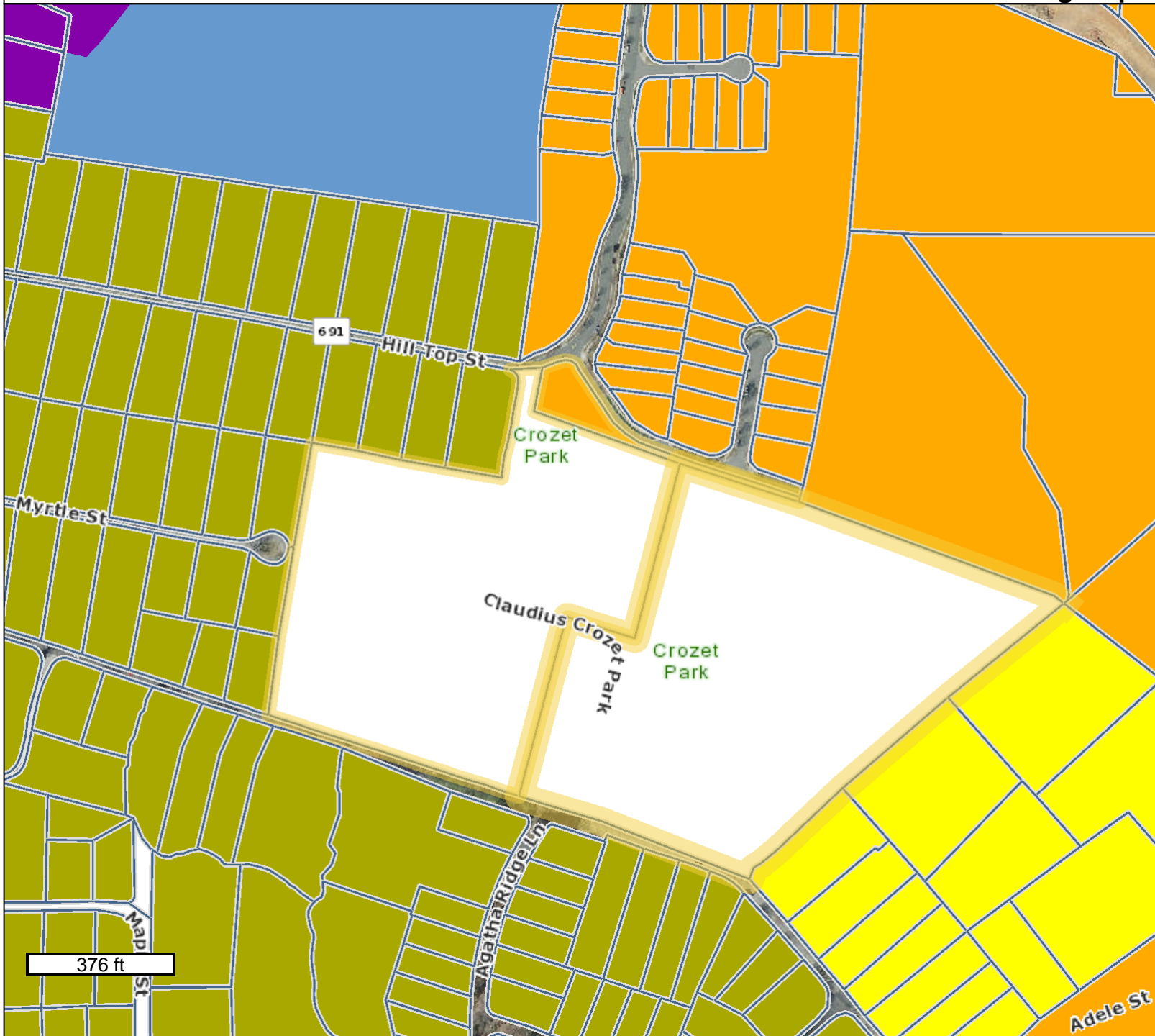
- Parcel Info
 □ Parcels

752 ft



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 Geographic Data Services
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 (434) 296-5832

Attachment 2 - SP2020-00016 Claudius Crozet Park - Zoning Map



Legend

(Note: Some items on map may not appear in legend)

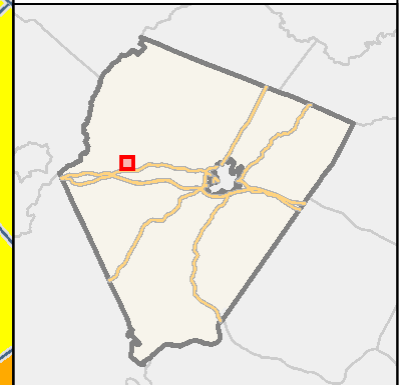
Parcel Info

- Parcels

Zoning Info

Zoning Classifications

- Rural Areas
- Village Residential
- R1 Residential
- R2 Residential
- R4 Residential
- R6 Residential
- R10 Residential
- R15 Residential
- Planned Unit Development
- Planned Residential Development
- Neighborhood Model District
- Monticello Historic District
- C1 Commercial
- Commercial Office
- Highway Commercial
- Planned Development Shopping Ctr.
- Planned Development Mixed Comm.
- Downtown Crozet District
- Light Industry
- Heavy Industry
- Planned Development Industrial Par
- Town of Scottsville



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**CLAUDIUS CROZET PARK
SPECIAL USE PERMIT APPLICATION
(SP2020-00016)
AMENDMENT TO SP-1995-43**

NARRATIVE AND CONDITIONS

Date: August 17, 2020

Revised: November 16, 2020

Applicant: Claudius Crozet Park, Inc.

Prepared By: Collins Engineering

CLAUDIUS CROZET PARK - SPECIAL USE PERMIT
PROJECT NARRATIVE & CONDITIONS

I. PROJECT PROPOSAL

The applicant is seeking a special use permit in accordance with Section 10.2.2.(1) and (4) of the Albemarle County Zoning Ordinance for a community center in the Rural Area district and for a swim, golf, tennis or similar athletic facilities in the Rural Area district. The applicant is also seeking a special use permit in accordance with Section 16.2.2.(1) and (4) for a community center in the R-6 Zoning District and for a swim, golf, tennis or similar athletic facilities in the R-6 Zoning district. The proposed Claudius Crozet Park Special Use Permit is an amendment to the previously approved special use permit (SP1995-00043), allowing the use of the property for a pool, parking area, walking trails, and play fields. The previous special use permit classified the proposed uses as a Community Center. This amendment to the existing Special Use permit is to expand the use of the Community Center with a fitness center and pool expansion. Included with the expansion of the pool and new fitness facility will be additional parking areas, walking trails and sidewalk connections, and stormwater management facilities. The Claudius Crozet Park property is primarily Rural Area property (RA) surrounded by residential neighborhoods. The total area of the park is 22.81 acres, with a small portion (0.41 acres) located on R-6 property donated to the park with the development of the Parkside Village Neighborhood. There are (3) parcels in total that make up the Crozet park, as listed below:

Crozet Park Parcel	Parcel Acreage	Existing Zoning
56A2-1-72	10.731 acres	Rural Area (RA)
56A2-1-72A	11.665 acres	Rural Area (RA)
56A2-4-0A4	0.41 acres	R-6 Zoning

The proposed special use permit that is being requested is for an amendment to the existing special use permit for the property, which currently operates as a community park. The applicant is proposing to construct a Community Recreation Facility, including exercise areas, sport courts, community meeting space, and a pool expansion. Phase II of the project will include an indoor pool facility, connected to the fitness building and adjacent to the existing pool deck. Access to the property is from the existing main entrance on Park Road. There is currently an emergency access road from the property onto Hill Top Street, which is also used during larger festivals and events. The proposed expansion includes improvements to the site for traffic circulation through the park and a 2nd access point onto Hill Top Street, as shown on the Development Application Plan. The existing parking area will be expanded for additional parking for the Community Park and parking for the proposed fitness facility.

Currently, Claudius Crozet Park includes a pool, grass recreation fields, a community center building, basketball courts, tennis courts, a soccer field, and baseball/softball fields. Lights were recently added to the baseball field through a special exception process. Most of the existing infrastructure will remain with the proposed expansion. The Development Application Plan includes the existing conditions of the site, and notes the existing improvements that will be removed for the construction of the proposed fitness facility, parking, and circulation through the site.

Crozet Park is located within the central core of the Crozet Development Area. There are multiple roadway connections and existing and proposed pedestrian/bicycle trailway connections in all directions providing access to the Park from the surrounding neighborhoods. As shown on sheet 6 of the Development plan, Crozet Park is located within ½ mile from Downtown Crozet, and within 1 mile from many of the residential neighborhoods in the area. Sheet 6 of the development plan also shows the extensive sidewalk and trailway connections in the area, which allow for pedestrian and bicycle connections to Crozet Park. Much of the pedestrian and bicycle infrastructure in the area has come from the recent development of the adjacent properties and neighborhoods. This network is continuing to evolve as the remaining parcels are developed. These sidewalks and trailways provide additional non-vehicular access connections to Crozet Park.

The public benefits for the proposed special use permit are to provide a community fitness and recreational facility within Crozet Park to meet the needs for the residents in the Crozet Community. The proposed facility will provide a fitness center for the community, meeting spaces, recreational sport courts, and an indoor pool. The proposed facility will also provide improvements for the existing pool at Crozet Park. The proposed special use permit will not change the overall characteristic of Crozet Park. Currently, the park offers fitness, recreation, and meeting areas on the property, serving the community. The proposed special use permit will enhance these facilities, creating the expansion of the community park to service the Crozet Community.

II. Consistency with the Comprehensive Plan

The existing Crozet Park and the proposed expansion of the community center and swim, golf, tennis or similar athletic facilities are consistent with the goals of the Comprehensive Plan. The property, which is located within the Crozet growth area, is noted as greenspace. The existing Crozet Park is consistent with the allowable uses in the Greenspace of the Crozet Master Plan. The park, as shown on the Crozet Masterplan, is designed along a Greenspace corridor, providing alternative connections to the community park, other than vehicular connections and access. The expansion of the Crozet Park is consistent with the Community Life goal of the Crozet Master plan. The improvements will help continue to provide an adequate facility in the Crozet community for fairs, festivals, and events. The proposed park expansion is also consistent with the Parks & Green Systems goal of the masterplan by providing north/south and east/west trailway connections through the park to the adjacent and surrounding neighborhoods.

III. Development Impacts on the Public Facilities & Public Infrastructure

The Claudius Crozet Park is located within the Albemarle County growth area and within the ACSA jurisdictional area. The park is currently served by public water and public sanitary sewer, and the proposed expansion of the facility will continue to connect to the public infrastructure.

With the expansion of the community park, trailways and sidewalks will be constructed within the park, connecting existing pedestrian and bicycle facilities of the adjacent properties within the neighborhoods. The sidewalk and trailway connections to Crozet Park and proposed onsite sidewalk and trail system provide an extensive network for pedestrian and bicycles through the Crozet community. This extensive system also provides alternative, non-vehicular access to the park. VDOT traffic (ITE) manual estimates that the proposed community fitness and recreation center will generate approximate 985 vehicles per day. The manual also provides for a 10% to 20% reduction in these trips, based on the urban design of the park within the neighborhood and the extensive sidewalk and trailway connections to the park. The existing park, which currently provides fitness and recreation opportunities, has existing trips per day that factor into the proposed traffic estimates, reducing the number of new trips per day to the Community Park. In addition, with the proposed second access connection to the park and the recently completed section of Eastern Avenue, the additional vehicular trips per day to the park are dispersed over the existing road infrastructure in the area to the north, east and west of the park. These roadway connections allow for additional access points to the park from the surrounding neighborhoods and community.

The expansion of the park pool and recreational facility is not expected to have an impact on the fire and police departments. The park is located within a mile from the Crozet Fire Department, so the response times are adequate for the proposed infrastructure. In addition, the facility will have a sprinkler system that will aid in the fire suppression for the building. Exterior lighting and an alarm system will be included with the proposed building and parking lot improvements, adding to the safety of the proposed facility. This will help limit of the overall impacts on the police department with the added infrastructure.

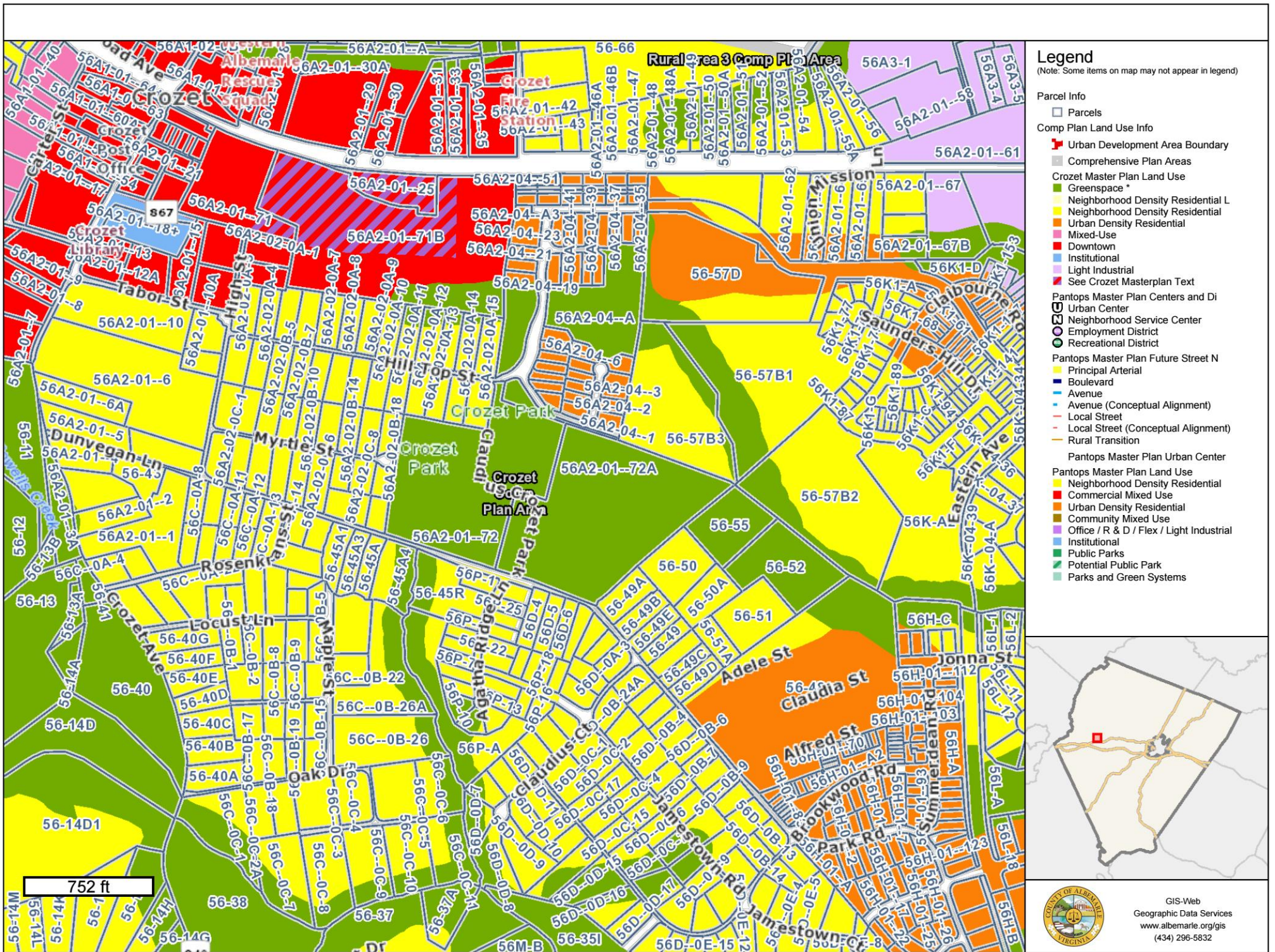
IV. Development Impacts on the Environmental Features

The proposed expansion of the community center and recreation facility within Crozet Park will not impact the existing environmental features on the property. There is a small section of preserved slopes south of the existing pond and limited managed slopes on the property. The improvements will have a minor impact on one of the small managed slope areas within the park and no impacts on the preserved slopes. There is also an existing pond on the property with a water protection ordinance buffer that will be maintained. The proposed development is outside of the buffer area, and the surrounding area of the pond will be enhanced to help treat any stormwater run-off before it drains into the existing pond. The existing pond is not a SWM facility, so all water quality shall be achieved prior to the run-off being released to the pond. Nutrient credits and other water quality control measures may be implemented to achieve the required stormwater management for the building and parking lot expansion. The proposed development will meet the state water quality design criteria and will be considered as development of prior developed land. In addition, the final SWM design shall take into account and provide stormwater quality and quantity controls

for the existing SWM facility that is being removed with the proposed development of the parking lot expansion and recreation building.

V. Special Exception Request

The existing Special use permit (SP1995-43) for the Crozet Park also included a special exception request for Section 18.5.16(a) of the Albemarle County Zoning Ordinance. This proposed amendment to the Special Use Permit for the park also includes an amendment to the existing special exception request for the improvements and modifications to the pool. The conditions set forth in the approved special exception shall still apply to the project and the proposed expansion of the facility. The outside pool is staying the same. The existing pool facility is 165 feet from the property, as shown on Sheet 3 of the concept plan. The proposed indoor pool is 30 feet from the same property line (which is the closest property line). From this property line, the closest structure is another 130 feet, making the total distance of the indoor pool facility 160 feet from the closest structure and the existing pool 295 feet from the closest structure. A landscaping buffer area is also proposed on the west side of the proposed indoor pool facility to mitigate the building from the adjacent residences. The indoor pool is mitigated by the building, helping to reduce the sounds from the pool. The existing building will shield the noises from the pool, limiting the impact of the indoor pool on the adjacent residences. Between the landscaping buffer and the building, the sounds from the indoor pool should have limited affect on the adjacent residences. The landscaping will help mitigate any light extending from the windows on the building as well.

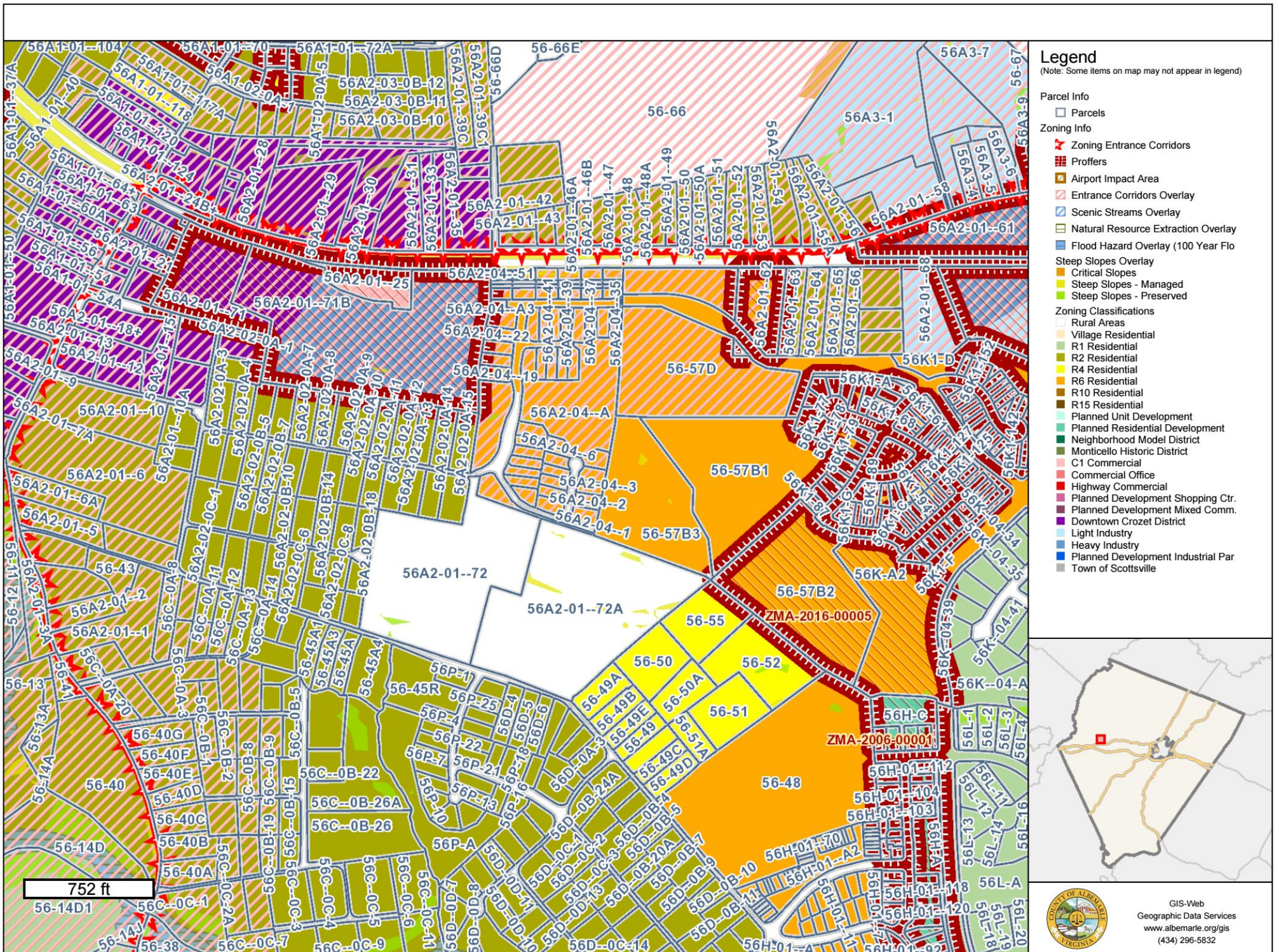


Legend
 (Note: Some items on map may not appear in legend)

- Parcel Info**
- Parcels
- Comp Plan Land Use Info**
- ▬ Urban Development Area Boundary
 - Comprehensive Plan Areas
 - Crozet Master Plan Land Use
 - Greenspace *
 - Neighborhood Density Residential L
 - Neighborhood Density Residential
 - Urban Density Residential
 - Mixed-Use
 - Downtown
 - Institutional
 - Light Industrial
 - See Crozet Masterplan Text
- Pantops Master Plan Centers and Di**
- Urban Center
 - Neighborhood Service Center
 - Employment District
 - Recreational District
- Pantops Master Plan Future Street N**
- ▬ Principal Arterial
 - ▬ Boulevard
 - ▬ Avenue
 - ▬ Avenue (Conceptual Alignment)
 - ▬ Local Street
 - ▬ Local Street (Conceptual Alignment)
 - ▬ Rural Transition
- Pantops Master Plan Urban Center**
- Pantops Master Plan Land Use**
- Neighborhood Density Residential
 - Commercial Mixed Use
 - Urban Density Residential
 - Community Mixed Use
 - Office / R & D / Flex / Light Industrial
 - Institutional
 - Public Parks
 - Potential Public Park
 - Parks and Green Systems



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 (434) 296-5832



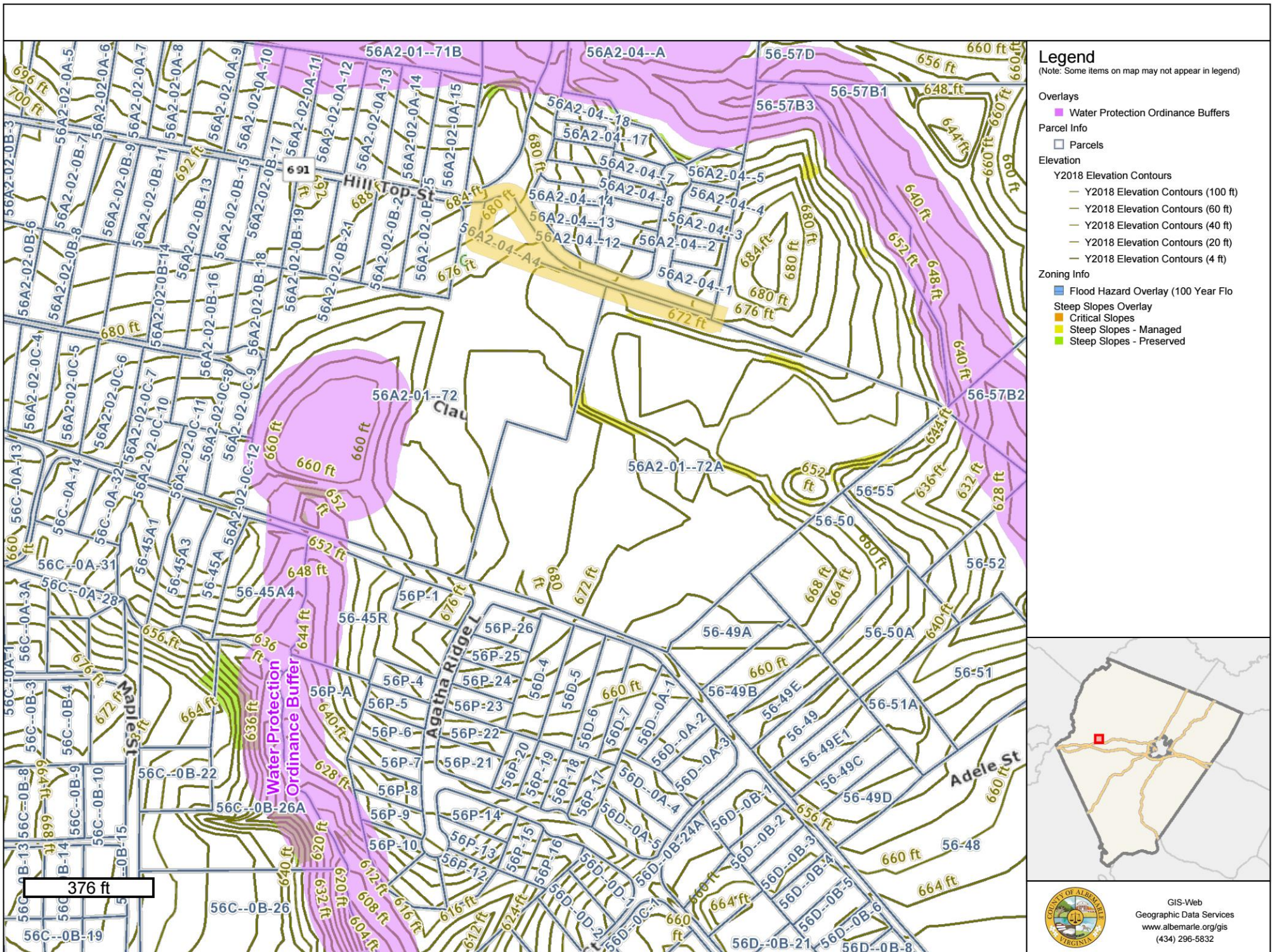
Legend
(Note: Some items on map may not appear in legend)

- Parcel Info**
- Parcels
- Zoning Info**
- ✶ Zoning Entrance Corridors
- ▨ Proffers
- ▨ Airport Impact Area
- ▨ Entrance Corridors Overlay
- ▨ Scenic Streams Overlay
- ▨ Natural Resource Extraction Overlay
- ▨ Flood Hazard Overlay (100 Year Flo)
- Steep Slopes Overlay**
- ▨ Critical Slopes
- ▨ Steep Slopes - Managed
- ▨ Steep Slopes - Preserved
- Zoning Classifications**
- ▨ Rural Areas
- ▨ Village Residential
- ▨ R1 Residential
- ▨ R2 Residential
- ▨ R4 Residential
- ▨ R6 Residential
- ▨ R10 Residential
- ▨ R15 Residential
- ▨ Planned Unit Development
- ▨ Planned Residential Development
- ▨ Neighborhood Model District
- ▨ Monticello Historic District
- ▨ C1 Commercial
- ▨ Commercial Office
- ▨ Highway Commercial
- ▨ Planned Development Shopping Ctr.
- ▨ Planned Development Mixed Comm.
- ▨ Downtown Crozet District
- ▨ Light Industry
- ▨ Heavy Industry
- ▨ Planned Development Industrial Par
- ▨ Town of Scottsville

752 ft



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Legend
(Note: Some items on map may not appear in legend)

- Overlays**
 - Water Protection Ordinance Buffers
- Parcel Info**
 - Parcels
- Elevation**
 - Y2018 Elevation Contours
 - Y2018 Elevation Contours (100 ft)
 - Y2018 Elevation Contours (60 ft)
 - Y2018 Elevation Contours (40 ft)
 - Y2018 Elevation Contours (20 ft)
 - Y2018 Elevation Contours (4 ft)
- Zoning Info**
 - Flood Hazard Overlay (100 Year Flo)
- Steep Slopes Overlay**
 - Critical Slopes
 - Steep Slopes - Managed
 - Steep Slopes - Preserved



GENERAL NOTES

OWNER/DEVELOPER: CLAUDIUS CROZET PARK, INC.
BOX 171
CROZET, VA 22932

ENGINEER: COLLINS ENGINEERING
200 GARRETT ST, SUITE K
CHARLOTTESVILLE, VA 22902
(434)293-3719

TAX MAP NO.: 56A2-01-72 (RA), 56A2-01-72A (RA), & 56A2-04-0A4(R-6)

ZONING: RURAL AREA WITH SPECIAL USE PERMIT (SP-95-43) & R-6. NOTE, TMP56A2-04-0A4 IS LOCATED WITHIN THE ENTRANCE CORRIDOR OVERLAY DISTRICT.

PROFFERS: SEE ALBEMARLE COUNTY PLANNING DEPARTMENT LETTER FOR APPROVED SPECIAL USE PERMIT SP-95-43.

PROJECT AREA: 0.41 AC 56A2-04-0A4
10.73 AC 56A2-01-72
11.67 AC 56A2-01-72A
22.81 AC.

PROPERTY SURVEY: SURVEY AND TOPOGRAPHY PROVIDED BY KIRK HUGHES & ASSOCIATES, LAND SURVEYORS AND PLANNERS. SURVEY WAS UPDATED IN JANUARY 2019, AND FIELD CONDITIONS HAVE BEEN VERIFIED BY COLLINS ENGINEERING IN JANUARY 2020.

VERTICAL DATUM: THE TEMPORARY BENCHMARK IS A NAIL SET IN A UTILITY POLE AS SHOWN ON THE DRAWINGS. ASSUMED ELEVATION=500.00'.

HORIZONTAL DATUM: MAGNETIC NORTH AS SHOWN ON A PLAT OF JOHN MCNAIR AND ASSOCIATES, DATED AUGUST 24, 1958, AND RECORDED BY D.B. 343, PG. 382A.

WATERSHED: PROJECT SITE IS LOCATED WITHIN THE SOUTH RIVANNA WATER RIVERSHED.

EXISTING USE: URBAN COMMUNITY PARK WITH A POOL, GRASS RECREATIONAL FIELDS, COMMUNITY CENTER, BASKETBALL COURTS, TENNIS COURTS, SOCCER FIELD, AND BASEBALL/SOFTBALL FIELDS.

PROPOSED USE: SPECIAL USE PERMIT FOR A COMMUNITY CENTER AND SWIM, GOLF, TENNIS OR SIMILAR ATHLETIC FACILITY IN THE RURAL AREA AND IN THE R-6 ZONING DISTRICT. CONSTRUCTION OF A COMMUNITY RECREATION FACILITY, INCLUDING EXERCISE AREA & COMMUNITY MEETING ROOM. (INCLUDES THE REMOVAL OF THE EXISTING COMMUNITY CENTER BUILDING AND POOL BATHHOUSE).
PHASE I - 34,200 +/- GSF (INC. 20,250 EXERCISE AREA & 1,620 MEETING ROOM)
PHASE II (FUTURE) - 8 LANE INDOOR POOL (12,600 SF)

SITE ACCESS: ACCESS TO THE PROPERTY AND RECREATION CENTER IS FROM PARK ROAD, WITH A SECOND ACCESS POINT ON PARK ROAD AND ANOTHER ACCESS FROM HILL TOP STREET.

STEEP SLOPES: THERE ARE EXISTING PRESERVED AND MANAGED STEEP SLOPES ON THE PROJECT SITE, SEE SHEET 2. THESE SLOPES WILL NOT BE IMPACTED WITH THE PROPOSED DEVELOPMENT.

OFFSITE DISTURBANCE: NONE

PHASING
THE PROJECT WILL BE CONSTRUCTED IN 1 OR 2 PHASES. PHASE I WILL INCLUDE THE RECREATION FACILITY AND PARKING LOT IMPROVEMENTS. PHASE II WILL INCLUDE THE INDOOR POOL ADDITION (IF IT IS NOT CONSTRUCTED IN PHASE I).

FLOODPLAIN/WPO BUFFERS: THERE IS NO 100-YEAR FLOODPLAIN LOCATED ON THIS SITE PER FEMA MAP PANEL #51030229D DATED FEBRUARY 4, 2005. THERE IS A WFO BUFFER ON THE SITE, AS SHOWN ON SHEET 2 AND SHEET 3 OF THE INITIAL SITE, PER ALBEMARLE COUNTY GIS MAPPING. ALSO NOTE THE PARCEL IS OUTSIDE THE LIMITS OF THE FEDERAL & STATE DAM BREAK INUNDATION ZONES PER COUNTY GIS DATA.

SETBACKS: 75' MINIMUM FRONT SETBACK FROM EXISTING PUBLIC STREETS
25' MINIMUM SIDE YARD SETBACK
35' MINIMUM REAR YARD SETBACK

BUILDING HEIGHT: 35' MAXIMUM BUILDING HEIGHT. PROPOSED BUILDING HEIGHT = 32' (2 STORY BLDG)

LIGHTING PLAN: A LIGHTING PLAN WILL BE PROVIDED WITH THE FINAL SITE PLAN FOR THE BUILDING AND PARKING LOT LIGHTING. THE EXISTING PARKING LOT LIGHTING WILL BE MODIFIED WITH THE FINAL SITE PLAN. LIGHTING SHALL COMPLY WITH THE ALBEMARLE COUNTY ZONING ORDINANCE.

ESTIMATED EMPLOYEES: IT IS ANTICIPATED THAT APPROXIMATELY 25 EMPLOYEES WILL BE NEEDED AT THE LARGEST SHIFT FOR THE PROPOSED RECREATION CENTER.

BUILDING SEPARATION: BUILDING SEPARATION SHALL BE IN ACCORDANCE WITH TABLE 401 FIRE RESISTANCE RATINGS OF STRUCTURE ELEMENTS OF THE BOCA BASIC BUILDING CODE, 194 EDITION OR ITS EQUIVALENT IN THE CURRENT EDITION OF THE BOCA BASIC BUILDING CODE.

PARKING REQUIRED:

FACILITY	BASIS FOR CALCULATION	REQUIRED PARKING SPACES
BASEBALL FIELDS A,B,&C	3 FIELDS @ 20 SPACES/FIELD	60 SPACES
SWIMMING POOL	4,838 SF WATER SURFACE MAIN POOL @ 1/125 SF	39 SPACES
HORSESHOE PITS	3 PITS @ 2 SPACES/COURT	6 SPACES
KIDS TENNIS COURTS	3 COURTS @ 1 SPACE/COURT	3 SPACES
SOCCER FIELD	1 FIELD @ 24 SPACES/FIELD	24 SPACES
PAVILIONS A & B	4,811 SF @ 1 SPACE/75 SF	64 SPACES
COMMUNITY BUILDING	(DELETED WITH THIS PROJECT)	(46 SPACES (REMOVED))
RECREATION CENTER	20,250 SF @ 1 SPACE/125 SF	162 SPACES
MEETING ROOM	1,620 SF @ 1 SPACE/75 SF	22 SPACES

TOTAL PARKING REQUIRED = 380 SPACES
10% REDUCTION FOR URBAN PARK = 380 SPACES - 38 SPACES = 342 SPACES
PARKING PROVIDED: 292 SPACES
SHARED PARKING (APPROVED COOPERATIVE PARKING AGREEMENT)= 50 SPACE REDUCTION

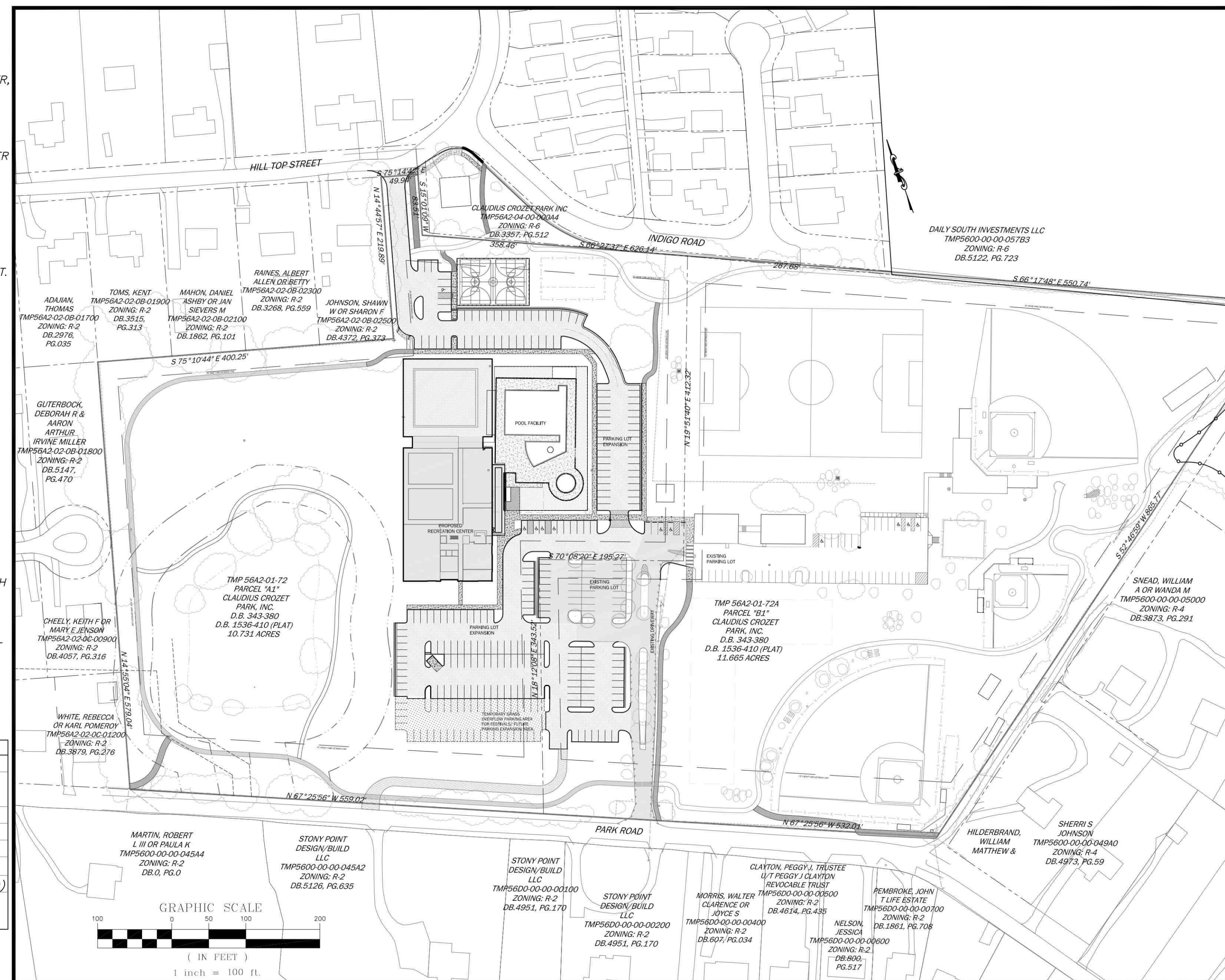
NOTE:
1. ADDITIONAL AREA IS AVAILABLE FOR THE EXPANSION OF THE PARKING AND OVERFLOW PARKING FOR SPECIAL EVENTS.
2. THE PARKING CALCULATIONS DO NOT INCLUDE THE PHASE II INDOOR POOL EXPANSION. THE PARKING STUDY WILL BE REVISED PRIOR TO THE CONSTRUCTION OF THE PHASE II INDOOR POOL BASED ON CURRENT PARKING SCENARIOS FOR THE FACILITY IN USE TO DETERMINE THE AMOUNT OF ADDITIONAL PARKING REQUIRED.
PARKING PROVIDED:

TRASH COLLECTION A DUMPSTER IS PROPOSED ONSITE, THE DUMPSTER SHALL HAVE A WOODEN ENCLOSURE.

ADJACENT PROPERTY OWNERS SEE EXISTING CONDITIONS, SHEET 2.

CLAUDIUS CROZET PARK SPECIAL USE PERMIT (SP2020-00016) DEVELOPMENT CONCEPT PLAN

WHITEHALL DISTRICT ALBEMARLE COUNTY, VIRGINIA



SHEET LAYOUT SCALE: 1" = 100'

RETAINING WALLS: NO RETAINING WALLS ARE PROPOSED WITH THIS PLAN.

BURIAL SITES: NO CEMETERIES WERE FOUND DURING FIELD INVESTIGATION OF THE SITE.

IMPERVIOUS AREAS: 304,920 SF (7.0 AC) TOTAL

PAVED PARKING AND CIRCULATION AREA: 205,125 SF

AREA CALCULATIONS

LAND USE AREA	ACREAGE
PAVEMENT & SIDEWALKS	5.54 AC (24.7%)
BUILDINGS	0.93 AC (4.2%)
POOL AND BASKETBALL	0.53 AC (2.4%)
OPEN SPACES	15.81 AC (68.7%)
TOTAL:	22.81 AC

TRIP GENERATION CALCULATIONS
TRIP GENERATION BASED ON ITE TRIP GENERATION MANUAL (10th EDITION)
HEALTH/FITNESS CLUB - CODE 492 (34,200 SF FITNESS CENTER)

ADT: N/A
AM PEAK: 45 VPH (23 ENTER/ 22 EXIT)
PM PEAK: 118 VPH (67 ENTER/ 51 EXIT)

STORMWATER MANAGEMENT:
STORMWATER MANAGEMENT FOR THE PROPOSED IMPROVEMENTS ON THE SITE SHALL BE ACCOMMODATED WITH THE PROPOSED WATER QUALITY SWALE AND DRY RETENTION AREA. NUTRIENT CREDITS WILL BE PURCHASED FOR ANY ADDITIONAL WATER QUALITY REQUIREMENTS ON THE SITE. THE PROPOSED WATER QUALITY SWALE AND DRY RETENTION AREA WILL PROVIDE SWM FOR THE INCREASE IN IMPERVIOUS AREA.

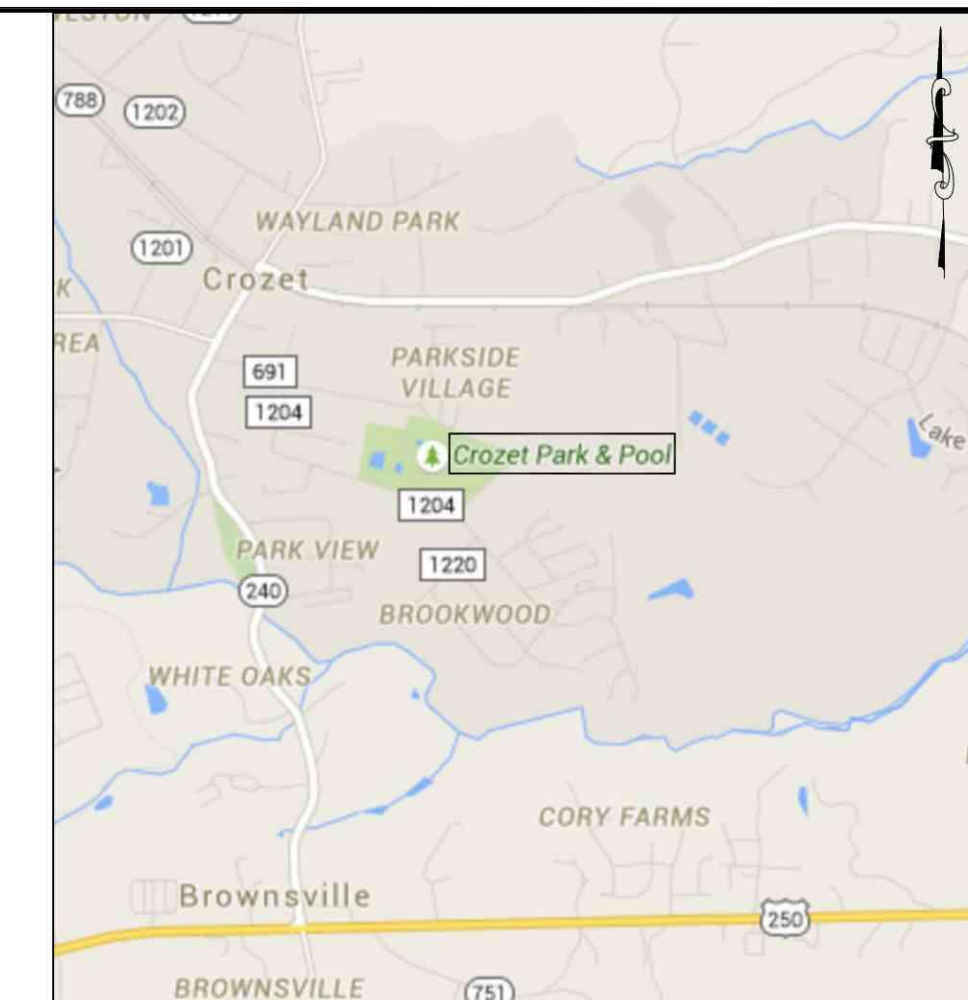
NOTES:
CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.

THE CONTRACTOR MUST LOCATE ALL SURFACE AND SUB-SURFACE UTILITIES PRIOR TO ANY WORK ONSITE.

ANY SIDEWALK AND/OR CURB DAMAGE IDENTIFIED IN THE SITE VICINITY DUE TO PROJECT CONSTRUCTION ACTIVITIES AS DETERMINED BY THE VDOT INSPECTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. SIDEWALK WILL BE REPLACED AT THE DIRECTION OF THE VDOT INSPECTOR. ANY EXISTING SIDEWALK THAT IS CURRENTLY DAMAGED AND IN NEED OF REPAIR OR NOT IN COMPLIANCE WITH CURRENT STANDARDS SHOULD BE REPLACED AS PART OF THIS PROJECT AS WELL. IN ADDITION, ANY EXISTING C&G-12S ALONG THE PERIMETER OF THE SITE SHOULD BE UPGRADED TO MEET CURRENT STANDARD IF NEEDED.

ALL SIGNING AND PAVEMENT MARKINGS SHALL BE CONSISTENT WITH THE MUTCD.

ALL WATER LINES, SEWER LINES, AND FIRE LINES FROM THE MAIN TO THE STRUCTURE MUST HAVE A VISUAL INSPECTION PERFORMED BY THE BUILDING DEPARTMENT.



**VICINITY MAP
SCALE: 1" = 2000'**

- PREVIOUS SITE PLANS:**
- SDP 2002-00051 MAJOR SITE PLAN AMENDMENT FOR BALLFIELDS, CONCESSIONS STANDS AND SECOND EXIT ON PARK STREET.
 - LOR FOR DUGOUT ROOFS AND SCORER PLATFORM @ MAJOR FIELD
 - LOR FOR SPEED HUMPS IN FRONT OF POOL HOUSE
 - LOR TO ADD SHED AT POOL
 - SDP 2011-00015 MINOR SITE PLAN AMENDMENT OF SDP2002-00051 FOR THE POOL DOME
 - LOR FOR QUICKSTART TENNIS COURTS
 - SDP 2015-00056 MINOR SITE PLAN AMENDMENT FOR PARKING LOT RENOVATION
 - SDP 2018-00077 MINOR SITE PLAN AMENDMENT FOR ATHLETIC FIELD LIGHTING

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	CONCEPT PLAN
4	CONCEPT PLAN
5	CONCEPT GRADING & DRAINAGE PLAN
6	PEDESTRIAN / BICYCLE / SIDEWALK FACILITIES MAP
TOTAL NUMBER OF SHEETS	

LEGEND

	EDGE OF PAVEMENT
	CURB
	PROPOSED BUILDING
	PROPOSED ASPHALT PAVEMENT
	DITCH CENTERLINE
	PROPOSED EASEMENT, OWNERSHIP VARIOUS WITH EACH SHEET
	DRAINAGE PIPE
	BENCH MARK
	SIGN
	PROPOSED HANDICAP PARKING SPACE STRIPING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	T/B DENOTES TOP/BACK OF CURB
	T/B DENOTES TOP OF BOX
	COUNTY DEFINED MANAGED STEEP SLOPES
	PRESERVED STEEP SLOPES TO BE IMPACTED
	PROPOSED CONCRETE
	PROPOSED & EXISTING GUARDRAIL
	PROPOSED FENCE



REVISIONS

REVISION DESCRIPTION	DATE
INITIAL SPECIAL USE PERMIT SUBMITTAL	8/17/20
ADDRESSED COUNTY COMMENTS DATED 10/5/20 AND RESUBMITTAL FOR PC MEETING	11/16/20

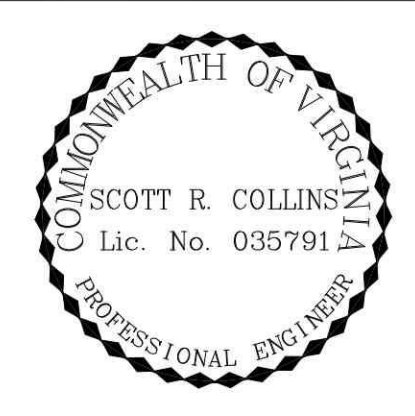
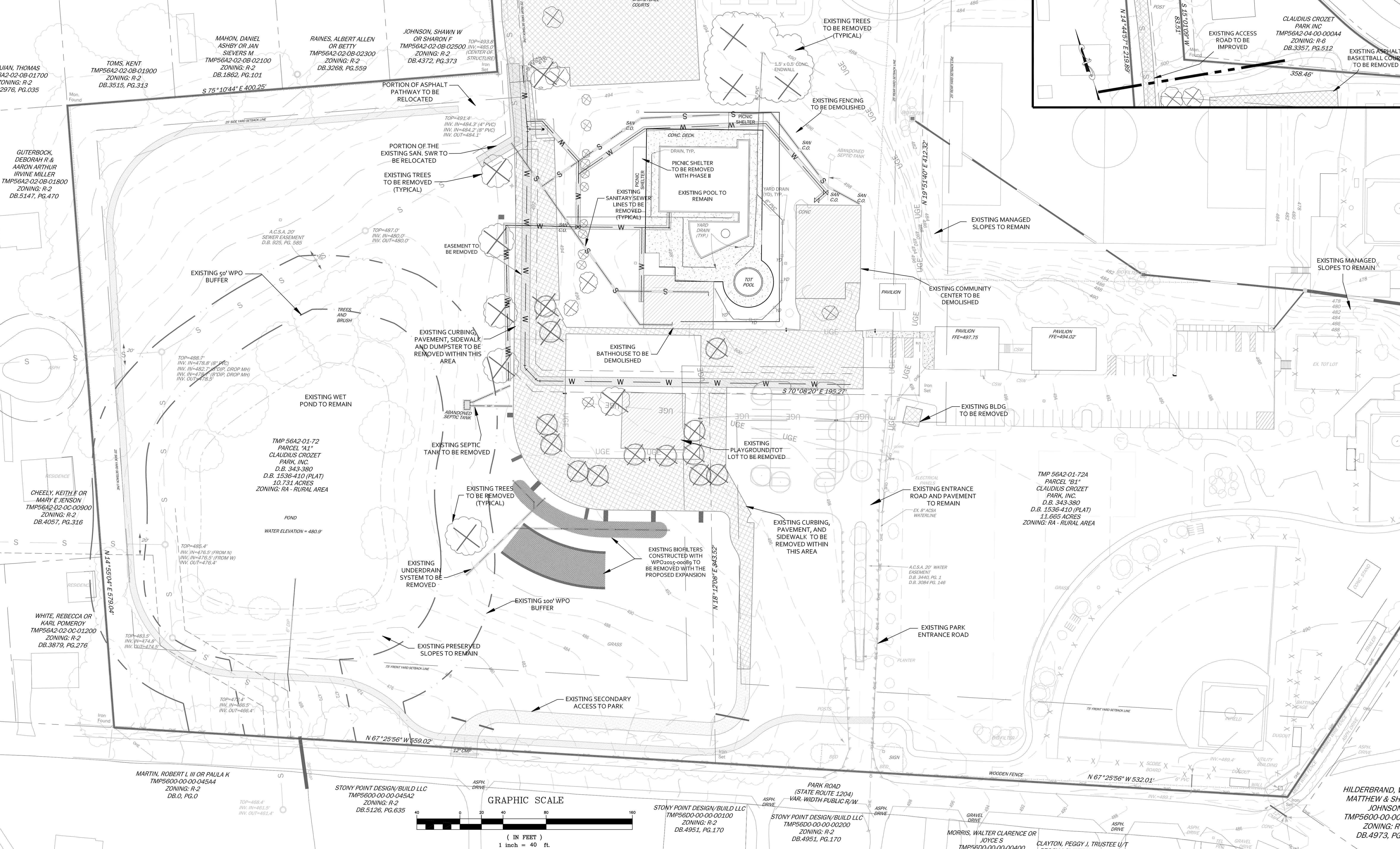
COLLINS ENGINEERING
200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434-293-3719

CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN
COVER SHEET

PROJECT: 142103
JOB NO.: 142103
SCALE: 1"=100'
SHEET NO.: 1

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- General Construction Notes
1. Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur the requirements of the permit shall govern.
 2. All materials and construction methods shall conform to current specifications and standards of VDOT unless otherwise noted.
 3. Erosion and siltation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
 4. All slopes and disturbed areas are to be fertilized, seeded and mulched.
 5. The maximum allowable slope is 2:1 (horizontal:vertical). Where reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
 6. Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer, or designee, it is deemed necessary in order to stabilize a drainage channel.
 7. All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices.
 8. Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
 9. All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).



REVISIONS	
DATE	REVISION DESCRIPTION
8/17/20	INITIAL SPECIAL USE PERMIT SUBMITTAL
11/16/20	ADDRESSED COUNTY COMMENTS DATED 10/15/20 AND RESUBMITTAL FOR PC MEETING

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719

CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN
 EXISTING CONDITIONS AND DEMOLITION PLAN

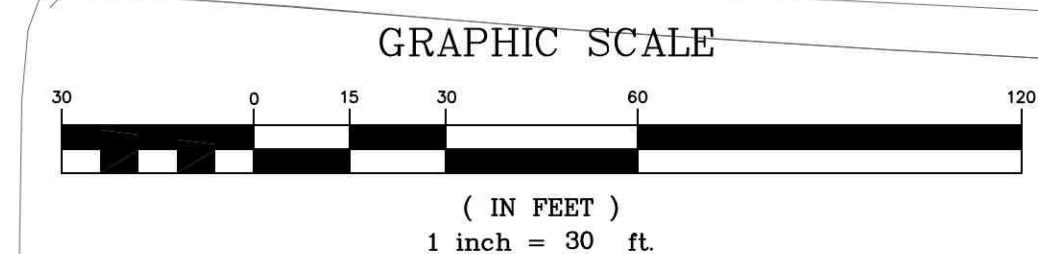
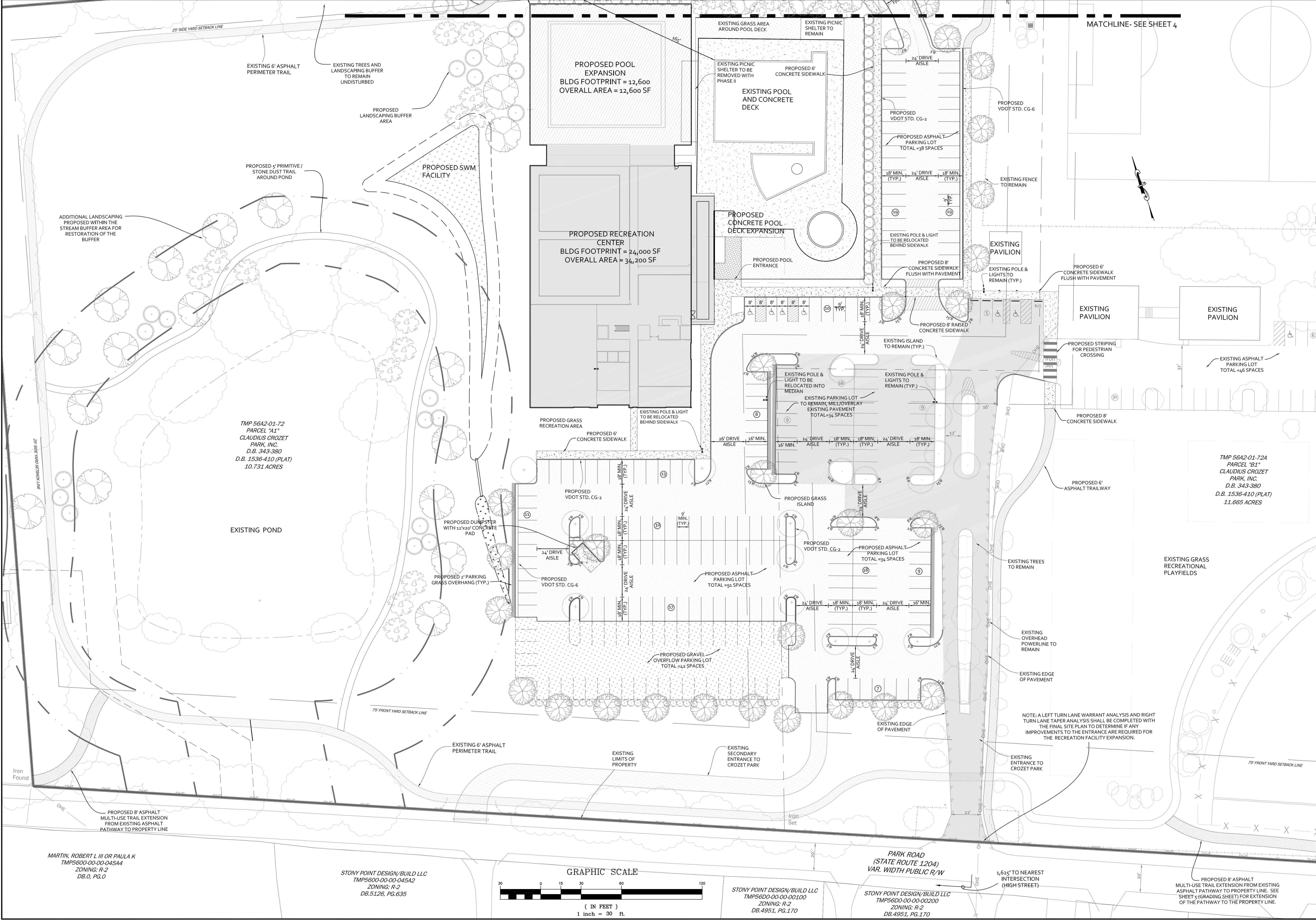
PROJECT SHEET TITLE: 142103
 SCALE: 1"=40'
 SHEET NO.: 2

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REVISIONS	
DATE	REVISION DESCRIPTION
8/17/20	INITIAL SPECIAL USE PERMIT SUBMITTAL
11/16/20	ADDRESSED COUNTY COMMENTS DATED 10/5/20 AND RESUBMITTAL FOR PC MEETING

COLLINS ENGINEERING	
200 GARRETT STREET, SUITE K - CHARLOTTESVILLE, VA 22902 - 434.293.3719	
CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN	
CONCEPT PLAN	
PROJECT	SHEET TITLE
142103	3
JOB NO.	SHEET NO.
142103	3
SCALE	SHEET NO.
1" = 30'	3



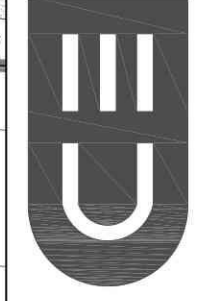
MARTIN, ROBERT L III OR PAULA K
TMP5600-00-00-045A4
ZONING: R-2
DB.O, PG.0

STONY POINT DESIGN/BUILD LLC
TMP5600-00-00-045A2
ZONING: R-2
DB.5126, PG.635

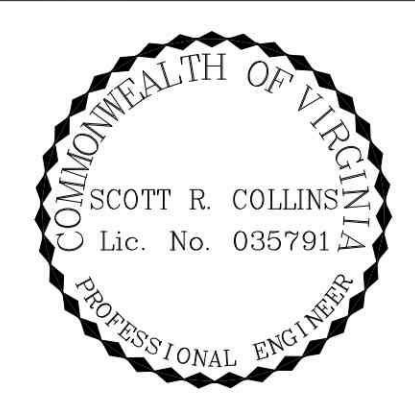
STONY POINT DESIGN/BUILD LLC
TMP5600-00-00-00100
ZONING: R-2
DB.4951, PG.170

PARK ROAD
(STATE ROUTE 1204)
VAR. WIDTH PUBLIC R/W
1,625' TO NEAREST INTERSECTION (HIGH STREET)

STONY POINT DESIGN/BUILD LLC
TMP5600-00-00-00200
ZONING: R-2
DB.4951, PG.170



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REVISIONS

DATE	REVISION DESCRIPTION
8/17/20	INITIAL SPECIAL USE PERMIT SUBMITTAL
11/16/20	ADDRESSED COUNTY COMMENTS DATED 10/19/20 AND RESUBMITTAL FOR PC MEETING

COLLINS ENGINEERING
 200 GARRETT STREET, SUITE K. - CHARLOTTESVILLE, VA 22902 - 434.293.3719

CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN
 CONCEPT PLAN

PROJECT SHEET TITLE: **CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN**

JOB NO. **142103**
 SCALE **1" = 30'**
 SHEET NO. **4**

NOTES:

- ALL TREES TO BE PLANTED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH EITHER THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VIRGINIA NURSERYMEN'S ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE DESIGNERS AND THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, OR THE ROAD AND BRIDGE SPECIFICATIONS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
- ALL SITE PLANTINGS OF TREES AND SHRUBS SHALL BE ALLOWED TO REACH, AND BE MAINTAINED AT, MATURE HEIGHT; THE TOPPING OF TREES IS PROHIBITED. SHRUBS AND TREES SHALL BE PRUNED MINIMALLY AND ONLY TO SUPPORT THE OVERALL HEALTH OF THE PLANT.

ALBEMARLE COUNTY FINAL PLAN GENERAL NOTES

General Construction Notes

- Prior to any construction within any existing public right-of-way, including connection to any existing road, a permit shall be obtained from the Virginia Department of Transportation (VDOT). This plan as drawn may not accurately reflect the requirements of the permit. Where any discrepancies occur the requirements of the permit shall govern.
- All materials and construction methods shall conform to current specifications and standards of VDOT unless otherwise noted.
- Erosion and siltation control measures shall be provided in accordance with the approved erosion control plan and shall be installed prior to any clearing, grading or other construction.
- All slopes and disturbed areas are to be fertilized, seeded and mulched.
- The maximum allowable slope is 2:1 (horizontal:vertical). Where reasonably obtainable, lesser slopes of 3:1 or better are to be achieved.
- Paved, rip-rap or stabilization mat lined ditch may be required when in the opinion of the County Engineer, or designee, it is deemed necessary in order to stabilize a drainage channel.
- All traffic control signs shall conform with the Virginia Manual for Uniform Traffic Control Devices.
- Unless otherwise noted all concrete pipe shall be reinforced concrete pipe - Class III.
- All excavation for underground pipe installation must comply with OSHA Standards for the Construction Industry (29 CFR Part 1926).

UTILITY NOTES:

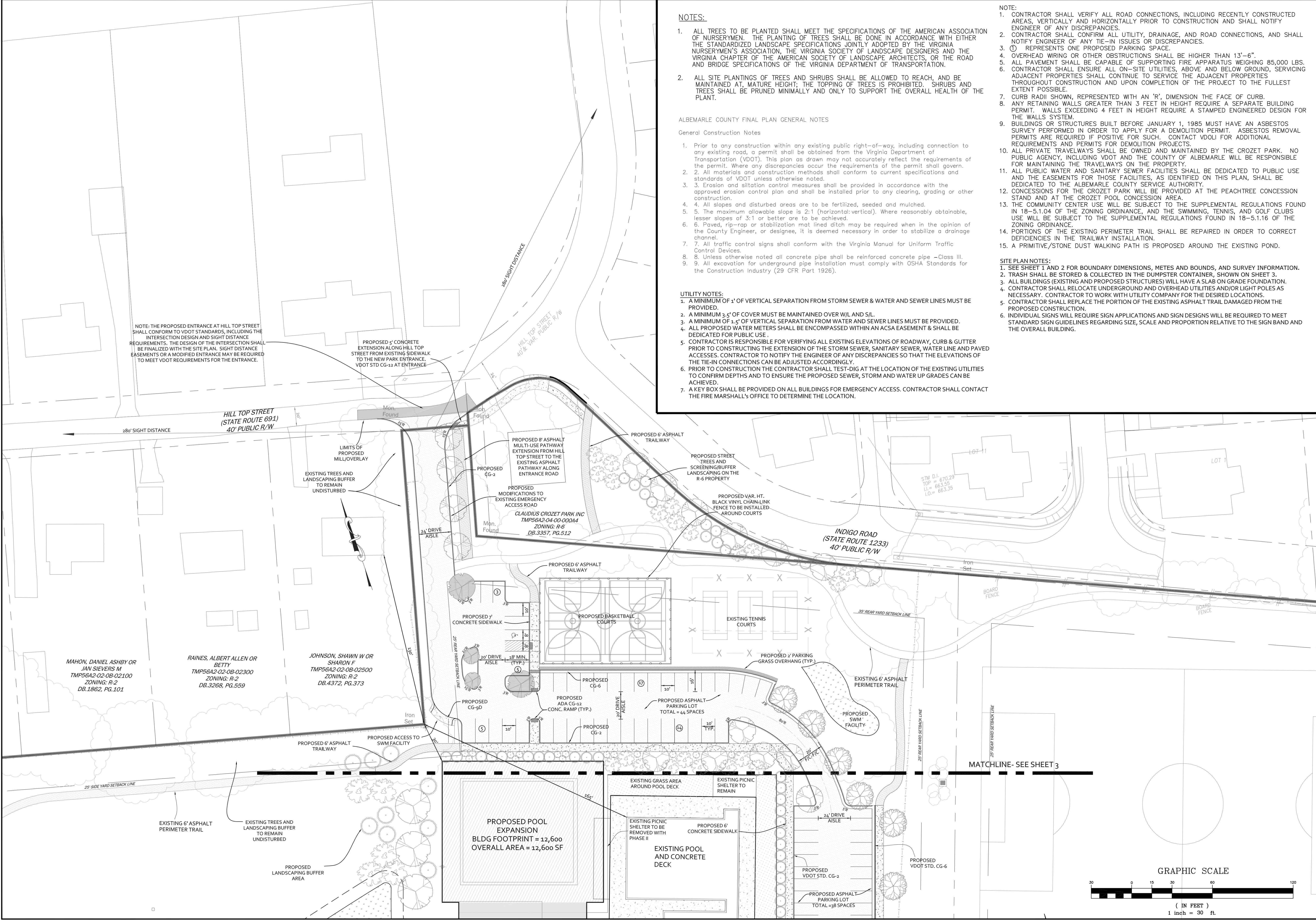
- A MINIMUM OF 1' OF VERTICAL SEPARATION FROM STORM SEWER & WATER AND SEWER LINES MUST BE PROVIDED.
- A MINIMUM 3.5' OF COVER MUST BE MAINTAINED OVER W/L AND S/L.
- A MINIMUM OF 1.5' OF VERTICAL SEPARATION FROM WATER AND SEWER LINES MUST BE PROVIDED.
- ALL PROPOSED WATER METERS SHALL BE ENCOMPASSED WITHIN AN ACSA EASEMENT & SHALL BE DEDICATED FOR PUBLIC USE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING ELEVATIONS OF ROADWAY, CURB & GUTTER PRIOR TO CONSTRUCTING THE EXTENSION OF THE STORM SEWER, SANITARY SEWER, WATER LINE AND PAVED ACCESS. CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THAT THE ELEVATIONS OF THE TIE-IN CONNECTIONS CAN BE ADJUSTED ACCORDINGLY.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL TEST-DIG AT THE LOCATION OF THE EXISTING UTILITIES TO CONFIRM DEPTHS AND TO ENSURE THE PROPOSED SEWER, STORM AND WATER UP GRADES CAN BE ACHIEVED.
- A KEY BOX SHALL BE PROVIDED ON ALL BUILDINGS FOR EMERGENCY ACCESS. CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE TO DETERMINE THE LOCATION.

NOTE:

- CONTRACTOR SHALL VERIFY ALL ROAD CONNECTIONS, INCLUDING RECENTLY CONSTRUCTED AREAS, VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL CONFIRM ALL UTILITY, DRAINAGE, AND ROAD CONNECTIONS, AND SHALL NOTIFY ENGINEER OF ANY TIE-IN ISSUES OR DISCREPANCIES.
- Ⓢ REPRESENTS ONE PROPOSED PARKING SPACE.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13'-6".
- ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000 LBS.
- CONTRACTOR SHALL ENSURE ALL ON-SITE UTILITIES, ABOVE AND BELOW GROUND, SERVICING ADJACENT PROPERTIES SHALL CONTINUE TO SERVICE THE ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF THE PROJECT TO THE FULLEST EXTENT POSSIBLE.
- CURB RADII SHOWN, REPRESENTED WITH AN 'R', DIMENSION THE FACE OF CURB.
- ANY RETAINING WALLS GREATER THAN 3 FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT. WALLS EXCEEDING 4 FEET IN HEIGHT REQUIRE A STAMPED ENGINEER DESIGN FOR THE WALLS SYSTEM.
- BUILDINGS OR STRUCTURES BUILT BEFORE JANUARY 1, 1985 MUST HAVE AN ASBESTOS SURVEY PERFORMED IN ORDER TO APPLY FOR A DEMOLITION PERMIT. ASBESTOS REMOVAL PERMITS ARE REQUIRED IF POSITIVE FOR SUCH. CONTACT VDOLI FOR ADDITIONAL REQUIREMENTS AND PERMITS FOR DEMOLITION PROJECTS.
- ALL PRIVATE TRAVELWAYS SHALL BE OWNED AND MAINTAINED BY THE CROZET PARK. NO PUBLIC AGENCY, INCLUDING VDOT AND THE COUNTY OF ALBEMARLE WILL BE RESPONSIBLE FOR MAINTAINING THE TRAVELWAYS ON THE PROPERTY.
- ALL PUBLIC WATER AND SANITARY SEWER FACILITIES SHALL BE DEDICATED TO PUBLIC USE AND THE EASEMENTS FOR THOSE FACILITIES, AS IDENTIFIED ON THIS PLAN, SHALL BE DEDICATED TO THE ALBEMARLE COUNTY SERVICE AUTHORITY.
- CONCESSIONS FOR THE CROZET PARK WILL BE PROVIDED AT THE PEACHTREE CONCESSION STAND AND AT THE CROZET POOL CONCESSION AREA.
- THE COMMUNITY CENTER USE WILL BE SUBJECT TO THE SUPPLEMENTAL REGULATIONS FOUND IN 18-5.1.04 OF THE ZONING ORDINANCE, AND THE SWIMMING, TENNIS, AND GOLF CLUBS USE WILL BE SUBJECT TO THE SUPPLEMENTAL REGULATIONS FOUND IN 18-5.1.16 OF THE ZONING ORDINANCE.
- PORTIONS OF THE EXISTING PERIMETER TRAIL SHALL BE REPAIRED IN ORDER TO CORRECT DEFICIENCIES IN THE TRAILWAY INSTALLATION.
- A PRIMITIVE/STONE DUST WALKING PATH IS PROPOSED AROUND THE EXISTING POND.

SITE PLAN NOTES:

- SEE SHEET 1 AND 2 FOR BOUNDARY DIMENSIONS, METES AND BOUNDS, AND SURVEY INFORMATION.
- TRASH SHALL BE STORED & COLLECTED IN THE DUMPSTER CONTAINER, SHOWN ON SHEET 3.
- ALL BUILDINGS (EXISTING AND PROPOSED STRUCTURES) WILL HAVE A SLAB ON GRADE FOUNDATION.
- CONTRACTOR SHALL RELOCATE UNDERGROUND AND OVERHEAD UTILITIES AND/OR LIGHT POLES AS NECESSARY. CONTRACTOR TO WORK WITH UTILITY COMPANY FOR THE DESIRED LOCATIONS.
- CONTRACTOR SHALL REPLACE THE PORTION OF THE EXISTING ASPHALT TRAIL DAMAGED FROM THE PROPOSED CONSTRUCTION.
- INDIVIDUAL SIGNS WILL REQUIRE SIGN APPLICATIONS AND SIGN DESIGNS WILL BE REQUIRED TO MEET STANDARD SIGN GUIDELINES REGARDING SIZE, SCALE AND PROPORTION RELATIVE TO THE SIGN BAND AND THE OVERALL BUILDING.



NOTE: THE PROPOSED ENTRANCE AT HILL TOP STREET SHALL CONFORM TO VDOT STANDARDS, INCLUDING THE INTERSECTION DESIGN AND SIGHT DISTANCE REQUIREMENTS. THE DESIGN OF THE INTERSECTION SHALL BE FINALIZED WITH THE SITE PLAN. SIGHT DISTANCE EASEMENTS OR A MODIFIED ENTRANCE MAY BE REQUIRED TO MEET VDOT REQUIREMENTS FOR THE ENTRANCE.

PROPOSED 5' CONCRETE EXTENSION ALONG HILL TOP STREET FROM EXISTING SIDEWALK TO THE NEW PARK ENTRANCE. VDOT STD CG-12 AT ENTRANCE.

PROPOSED 8' ASPHALT MULTI-USE PATHWAY EXTENSION FROM HILL TOP STREET TO THE EXISTING ASPHALT PATHWAY ALONG ENTRANCE ROAD.

PROPOSED MODIFICATIONS TO EXISTING EMERGENCY ACCESS ROAD.

CLAUDIUS CROZET PARK INC
 TMP56A2-04-00-00044
 ZONING: R-6
 DB.3357, PG.512

PROPOSED 7' CONCRETE SIDEWALK

PROPOSED ADA CG-12 CONC. RAMP (TYP.)

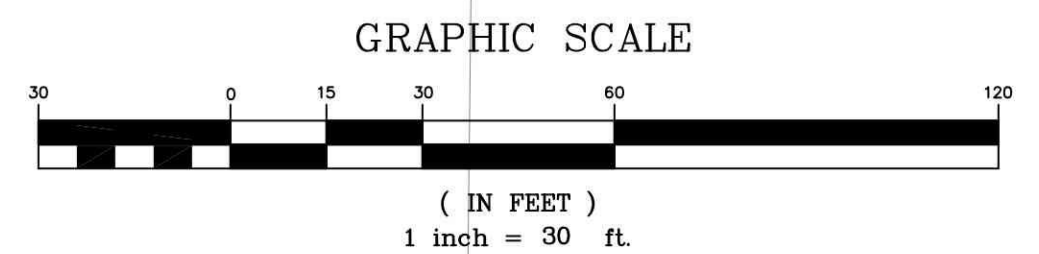
PROPOSED CG-6

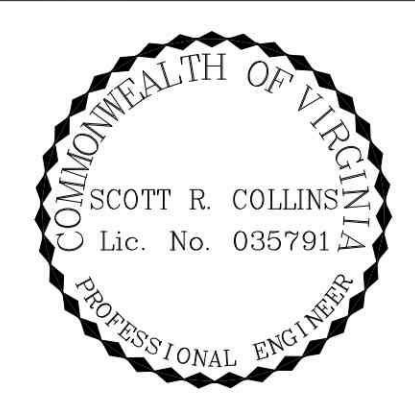
PROPOSED CG-2

MAHON, DANIEL ASHBY OR JAN SIEVERS M
 TMP56A2-02-0B-02100
 ZONING: R-2
 DB.1862, PG.101

RAINES, ALBERT ALLEN OR BETTY
 TMP56A2-02-0B-02300
 ZONING: R-2
 DB.3268, PG.559

JOHNSON, SHAWN W OR SHARON F
 TMP56A2-02-0B-02500
 ZONING: R-2
 DB.4372, PG.373





REVISIONS

DATE	REVISION DESCRIPTION
8/17/20	INITIAL SPECIAL USE PERMIT SUBMITTAL
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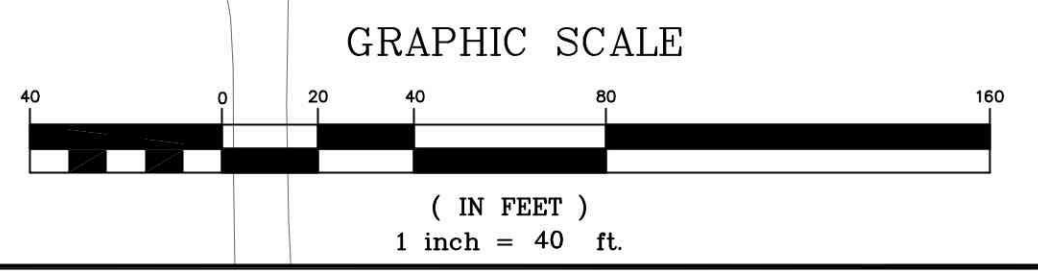
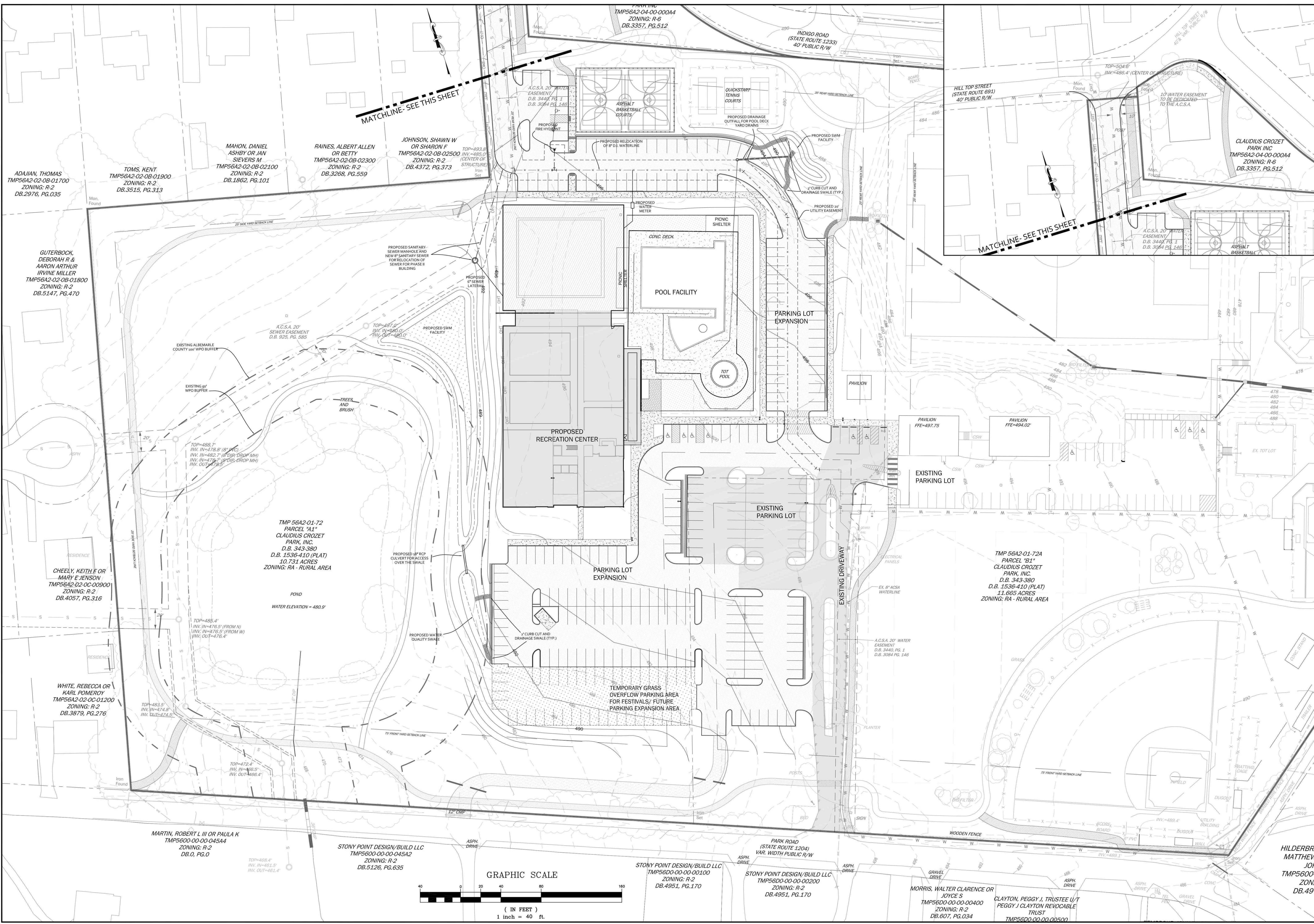
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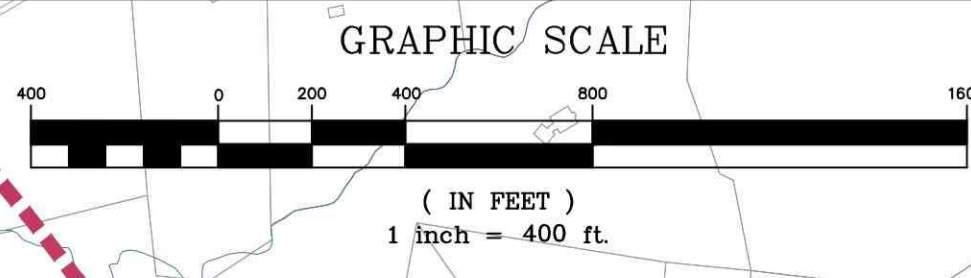
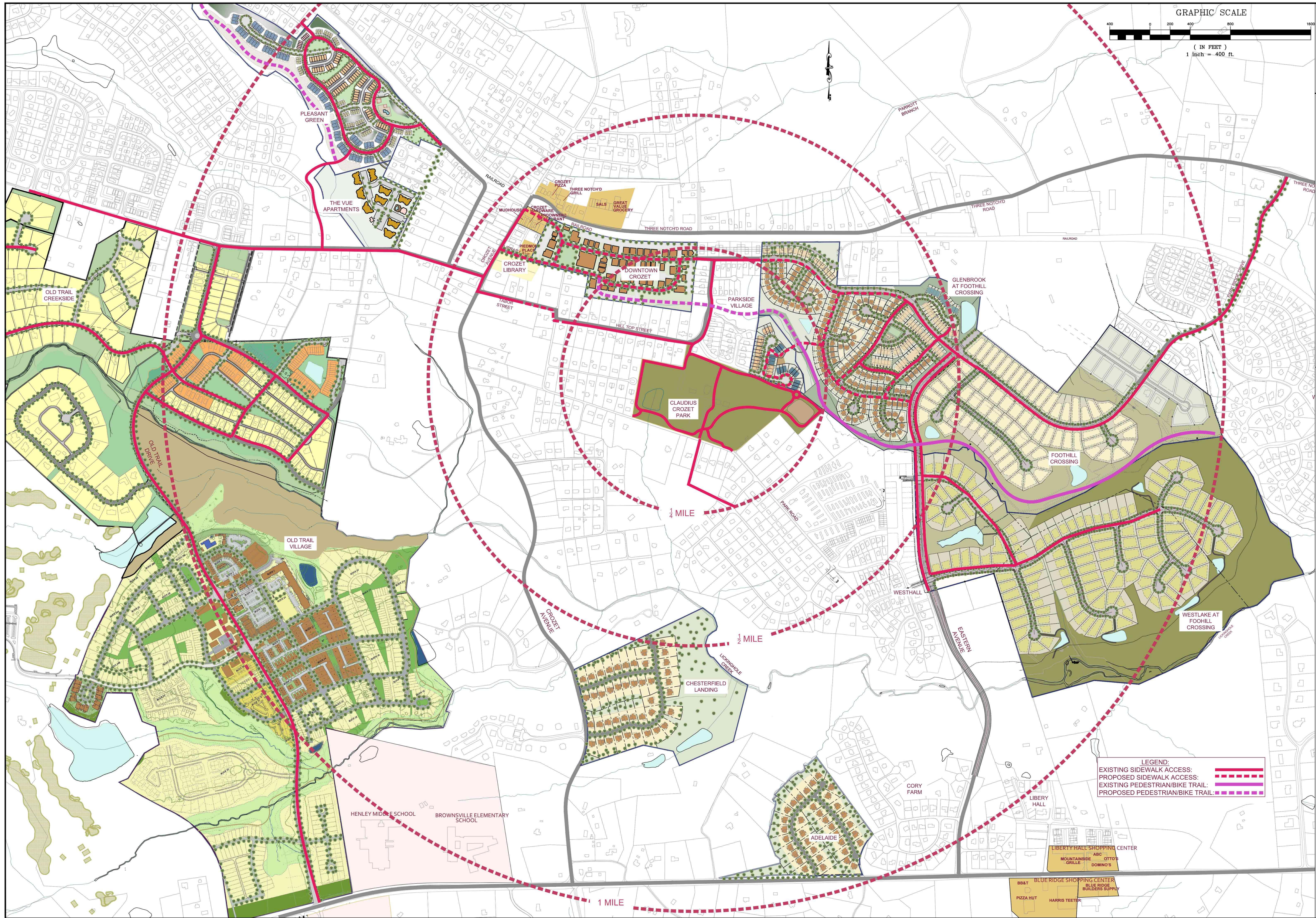
**CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN
CONCEPT GRADING AND DRAINAGE PLAN**



PROJECT	JOB NO.
CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN	142103
SHEET TITLE	SCALE
CONCEPT GRADING AND DRAINAGE PLAN	1" = 40'
	SHEET NO.
	5



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REVISIONS	
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COLLINS ENGINEERING
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CLAUDIUS CROZET PARK - SPECIAL USE PERMIT CONCEPT PLAN
PEDESTRIAN / BICYCLE / SIDEWALK FACILITIES MAP

PROJECT	142103
SCALE	1"=400'
SHEET NO.	6

LEGEND:
 EXISTING SIDEWALK ACCESS: [Solid red line]
 PROPOSED SIDEWALK ACCESS: [Dashed red line]
 EXISTING PEDESTRIAN/BIKE TRAIL: [Solid purple line]
 PROPOSED PEDESTRIAN/BIKE TRAIL: [Dashed purple line]

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Attachment 5 – SP2020-00016 Claudius Crozet Park

Staff Analysis of Application’s Consistency with Neighborhood Model Principles

<p>Pedestrian Orientation</p>	<p>The applicant is proposing several new sidewalks and pedestrian paths around the park to connect the park’s various amenities with one another and to connect the park with the surrounding neighborhoods.</p> <p><u>This principle has been met.</u></p>
<p>Mixture of Uses</p>	<p>The subject property is used for a community park only. However, there is a wide range of amenities that either currently exist in the park or are proposed to be in the park that serve the community, including athletic fields, tennis courts, pedestrian paths, basketball courts, a community center, an outdoor pool, and an indoor pool.</p> <p><u>This principle has been met.</u></p>
<p>Neighborhood Centers</p>	<p>Claudius Crozet Park acts as a center for the greater Crozet community and will continue to do so with the requested SP amendment, as an expanded community center is proposed.</p> <p><u>This principle has been met.</u></p>
<p>Mixture of Housing Types and Affordability</p>	<p>No dwelling units are proposed with this application for a community center and swimming club.</p> <p><u>This principle does not apply to this proposal.</u></p>
<p>Interconnected Streets and Transportation Networks</p>	<p>New streets are not proposed with this application. However, the applicant is proposing to construct several new sidewalks and pathways throughout the park to better connect the park’s facilities with the surrounding neighborhood.</p> <p><u>This principle has been met.</u></p>
<p>Multi-modal Transportation Opportunities</p>	<p>The applicant is proposing to construct several new pedestrian paths throughout the park to better connect the park’s facilities with one another and with the surrounding neighborhood. These additions will promote better pedestrian connections with the Crozet community. There do not appear to be any additional bike facilities proposed with this application, however.</p> <p><u>This principle has been mostly met but could be strengthened.</u></p>
<p>Parks, Recreational Amenities, and Open Space</p>	<p>This application is for community center and swimming club uses at an existing community park, designated as Greenspace in the Crozet master plan.</p> <p><u>This principle has been met.</u></p>

<p>Buildings and Space of Human Scale</p>	<p>The applicant has indicated that the proposed new community center and pool building will be two stories tall and within the height limits of the Rural Areas zoning district. Sidewalks are provided on three sides of the new building and pool area. There is, however, a large expanse of parking to the south of the new community center, creating a significant amount of pavement in this area.</p> <p><u>This principle has been mostly met but could be strengthened.</u></p>
<p>Relegated Parking</p>	<p>The parking areas are proposed to be enlarged and to surround the new community center and pool facilities on three sides. The parking lots are largely relegated from the Hill Top and Indigo frontage; however, there is no relegation proposed from the Park Road frontage of the park.</p> <p><u>This principle is partially met and could be strengthened.</u></p>
<p>Redevelopment</p>	<p>The existing park facilities are proposed to be expanded with a larger community center and a new indoor pool. These new facilities are proposed to be located on the site of the existing community center and adjacent to the existing pool.</p> <p><u>This principle has been met.</u></p>
<p>Respecting Terrain and Careful Grading and Re-grading of Terrain</p>	<p>There is a small area of preserved steep slopes on this property, as well as a Water Protection Ordinance (WPO) stream buffer around the pond on the property. The applicant is not proposing any development within the areas of preserved steep slopes or the WPO buffer. The County Engineer has reviewed this application and has no objections. Grading and stormwater management review will be required at the site planning stage and must meet all state and County requirements.</p> <p><u>This principle has been met.</u></p>
<p>Clear Boundaries with the Rural Area</p>	<p>Although the subject property is largely zoned RA (Rural Areas), it is located within the Community of Crozet development area and is not adjacent to any lands designated as Rural Areas in the comprehensive plan.</p> <p><u>This principle does not apply.</u></p>

CROZET PARK AGREEMENT
and
RESTRICTIVE COVENANT

THIS AGREEMENT made this 25 day of March, 1997, by and between CLAUDIUS CROZET PARK, INC., a Virginia non-profit corporation (hereafter the "Crozet Park") and the COUNTY OF ALBEMARLE, VIRGINIA, a political subdivision of the Commonwealth of Virginia (hereafter the "County").

WHEREAS, Crozet Park is the owner of all those two tracts or parcels of land, with improvements thereon and appurtenances thereto, known as Claudius Crozet Park, (hereafter "Park") designated as Parcel A1 and B1, containing 22.396 acres, as shown on a plat made by Kirk Hughes and Associates, dated March 15, 1996, and recorded in the Clerk's Office of the Circuit Court of Albemarle County, Virginia, in Deed Book 1536, page 408. The Park is the same property in all respects previously designated as Parcel A, containing 8.81 acres, more or less, and Parcel B containing 13.62 acres, more or less, as shown on plat of John McNair & Associates, dated August 24, 1958, revised December 4, 1975, and recorded in the Clerk's Office of the Circuit Court of Albemarle County in Deed Book 587, page 55 and is the same property in all respects conveyed to Claudius Crozet Park, Inc. by deed of Dabney N. Sandridge, et al., dated September 23, 1958 and recorded in the aforesaid Clerk's Office in Deed Book 343, page 381. Crozet Park presently operates a park on Parcels A1 and B1 for the benefit of the residents of the community of Crozet and the surrounding area of Albemarle County, Virginia; and

WHEREAS, Crozet Park and the County entered into an Agreement dated November 6, 1985 in which Crozet Park placed a restrictive covenant on what was then designated Parcel B restricting use of said Parcel B to recreational and public purposes and the County agreed to make recreational improvements to the Park and assist in the maintenance of the Park; and

WHEREAS, the County has agreed to contribute \$200,000 to the construction of a new swimming facility and to further plan for the funding and construction of additional facilities at the Park; and

WHEREAS, Crozet Park and the County now agree that the entire Park should in perpetuity be used only for park and recreational and community related entertainment activities for the benefit of the citizens of the community of Crozet and Albemarle County, Virginia; and

WHEREAS, Crozet Park and the County have reached further agreement for cooperative use and participation in the future of the Park.

NOW THEREFORE, in consideration of the above stated premises and for valuable consideration Crozet Park and the County agree as follows:

1. The Park, consisting of both Parcel A1 and Parcel B1 shall in perpetuity be used only for park and recreational purposes which may include any lawful activities such as festivals, carnivals, concerts, celebrations, and other community related entertainment uses that have historically been allowed at the Park and shall be open for public use unless the County and Crozet Park jointly agree otherwise. This restrictive covenant shall run with the land for the benefit of the citizens of the community of Crozet and Albemarle County, Virginia, and shall be enforceable on their behalf by the Albemarle Board of County Supervisors.
2. The County will contribute a total of \$200,000 to Crozet Park to be used solely for the construction of a new swimming facility.
3. The County will assist in the maintenance of the Park and in the mowing and trimming of the Park grounds.
4. Crozet Park shall make land available in the Park for additional recreational fields and facilities to be developed by the County to help meet the recreational needs of the Crozet Community and the citizens of the County. The development of the fields and facilities shall be determined by the County Parks and Recreation Department in consultation with the Crozet Park Board and subject to final approval by the Albemarle Board of County Supervisors. The fields and facilities shall be developed in general accord with the plan titled *Claudius Crozet Park: Field Study* dated May 15, 1996, and attached hereto as Exhibit "A", unless otherwise agreed to by Crozet Park and the County.
5. Crozet Park shall make the Park available free of charge for the County's summer playground program. The program will be allowed to operate for up to an eight week period during the months of June, July and August of each year. During such period the program will be allowed to operate between the hours of 8:00 a.m. and 5:00 p.m. on a schedule determined by the County Parks and Recreation Department. Facilities available to the program shall include the main building, identified on Attachment "A", and all outdoor fields and facilities exclusive of the swimming pool.
6. Crozet Park shall make its swimming facilities available for use by the County summer playground program at a reduced entry fee. The price per participant in the playground program for group visits shall not exceed 59% of the regular daily admission charge for children ages 6 to 11. Playground program participants who have a Park season pass to the pool will not be charged an additional entry fee. County summer playground employees and persons acting in a supervisory capacity for the summer playground program will be admitted free of charge.

7. Crozet Park shall give free or reduced priced entry scholarships for the swimming facilities to families and individuals certified by the County Department of Social Services using the same criteria used for free and reduced County park passes. Initially, scholarships shall be equal to five percent of the total value of Park membership fees. Crozet Park will consider increasing this percentage in the future as its revenues grow.

8. Crozet Park shall make the swimming facilities available for use by the County Parks and Recreation Department if such use does not conflict with the regular pool hours, programs and maintenance of the facilities by Crozet Park. Such use shall be coordinated between the County Parks and Recreation Department and the Crozet Park Board. The charge for such use, if any, shall be limited solely to cover any incurred operating costs that result from the use. Future uses may include, but shall not be limited to, a water aerobics class for senior citizens and a therapeutic recreation class.

9. Crozet Park agrees that it shall assure that prior to or at such time as it ceases to exist as a legal entity all legal interests and fee simple title to the Park, including all improvements thereto, shall be transferred to the County by Crozet Park or its successors in interest at no cost to the County upon the County's request.

10. Crozet Park hereby gives the County a right of first refusal to purchase the Park, or any part thereof, before the Park, or any part thereof, may be offered for sale. Notice of such proposed sale shall be given by certified mail to the County Executive and shall include a copy of this Agreement. The County may purchase the Park, or any part thereof, offered for sale for \$1.00. The \$1.00 shall constitute full and fair consideration for the purchase in light of the contributions made by the County to the park prior to the exercise of this right of first refusal. Such right of first refusal must be exercised by the County within ninety days of receipt of the notice by the County Executive.

11. All contributions, payments, and obligations of the County shall be subject to and contingent upon the annual appropriation of funds by the Albemarle County Board of Supervisors.

12. This Agreement shall be valid for a period of twenty years from the date of its execution by the parties hereto, unless Crozet Park and the County agree otherwise in writing. The Agreement shall be automatically renewed for consecutive periods of twenty years unless the County notifies Crozet Park in writing of its intent to terminate the Agreement at least 90 days prior to the expiration date of the Agreement or any future Agreement as provided herein.

13. This Agreement shall be binding upon and inure to the benefit of the respective heirs, executors, personal representatives, and successors in interest of the parties.

14. This Agreement represents the entire understanding between the parties and there are no collateral or oral agreements or understandings, and this Agreement shall not be modified unless in writing of equal formality signed by both parties.

15. This Agreement shall be construed according to the laws of the Commonwealth of Virginia.

IN WITNESS WHEREOF, the parties have signed this Agreement as of the day first above written.

CLAUDIUS CROZET PARK, INC.

Danny Newton (Seal)

President

COUNTY OF ALBEMARLE, VIRGINIA
Agreed to and Accepted

Robert W. Tucker, Jr. (Seal)

ROBERT W. TUCKER, JR.
COUNTY EXECUTIVE

Approved as to form:

Jay W. Davis
County Attorney

STATE OF VIRGINIA
COUNTY OF ALBEMARLE:

The foregoing *Crozet Park Agreement* was acknowledged before me this 19 day of March, 1997, by Danny Newton on behalf of Claudius Crozet Park, Inc.

Mary B. Hedrick
Notary Public

My Commission Expires:

January 31, 2000

AGREEMENT

This Agreement is made by and between the County of Albemarle, a political subdivision of the Commonwealth of Virginia (the "County") and Claudius Crozet Park, Incorporated, a Virginia nonstock corporation ("CCP") and is dated as of January 12, 2012.

Recitals

A. CCP is a charitable organization that is organized and operated for the following exempt purposes as stated in its Restatement of the Articles of Incorporation, dated January 9, 1984: "The purpose for which [CCP] is formed is charitable, to promote the health and well being and enhance the general social and cultural welfare of residents of the Community of Crozet and the surrounding area of Albemarle County, Virginia."

B. CCP owns certain property (including the improvements) known as Claudius Crozet Park, located on Park Road in Crozet, Virginia, identified as Parcel IDs 056A2-01-00-07200, 056A2-01-00-072A0 and 56A2-04-00-000A4 on the County tax maps (the "Park").

C. The Park is open to the public. In the Park there are playgrounds, sports fields, open spaces, a pool and a community center. CCP is improving the community center and the pool (the "Facility") at the Park. Renovations to the existing community center will allow for year round fitness equipment and classes, after school programming, camps and community space for healthy lifestyle workshops. The Facility will be a 43,500 square foot year round facility offering aquatics, recreation, fitness and community space for all ages. A removable pool dome will go over the pool in September of each year and come off in May.

D. CCP and Piedmont Family Young Men's Christian Association, Inc., a Virginia nonstock corporation, ("YMCA") wish to enter into a joint venture to operate and maintain the Facility and to conduct recreational programs at the Facility in furtherance of the exempt purposes of YMCA and CCP. The Facility improvements must be complete before the joint venture can begin. The Facility improvements and YMCA's presence at the Park through the joint venture will provide the necessary oversight and growth for CCP to move forward with building, improving and renovating basketball courts, tennis courts, a skate park and a perimeter trail at the Park.

E. CCP and the County entered into an agreement, dated March 25, 1997, in which CCP agreed to make land available within the Park for the County to develop recreational fields and facilities and in which CCP and the County agreed that the Park would in perpetuity be used only for park and recreational and community related entertainment activities for the benefit of the citizens of Crozet and the County.

F. In or around 2008, the County allocated in its budget two hundred thousand dollars for improvements to the Park. The County intended to build, improve and renovate basketball courts, tennis courts, a skate park and a perimeter trail at the Park. The County now

believes that its resources will be better spent helping to improve, remodel and renovate the community center, with the understanding that CCP will complete the projects that the County would have done. Improving the community center first will enable the joint venture between YMCA and CCP to move forward and will provide the best foundation for the proper oversight and maintenance of additional facilities at the Park. It will also provide additional and needed supervised recreational opportunities for youth in the Crozet area. For the purposes permitted by section 15.2-953 of the Code of Virginia and Article IV, Section 16 of the Constitution of Virginia, the County will instead now contribute the two hundred thousand dollars to CCP to assist in the building, improvement and renovation of the community center.

Agreement

1. Establishment of Fund. The County will contribute two hundred thousand dollars (US\$200,000) to CCP to establish the Community Building Fund (the "Fund"). The County will make the contribution to CCP by check on or before January 22, 2012.

1.1. Use of Fund. The Fund will be established by CCP upon transfer to and acceptance by CCP of the contribution. CCP shall use the entire principal and the income of the Fund for the purposes described below. The Fund will be held as a restricted asset of CCP, but not segregated as a separate trust. The principal and income of the Fund may be combined with other funds or accounts of CCP for investment purposes, provided that a separate accounting of principal and income is maintained. CCP shall use the Fund only in a manner consistent with its tax exempt purposes under section 501(c)(3) of the Internal Revenue Code.

1.2. Purpose of Fund. The purpose of the Fund is to assist CCP in the improvement, renovation and remodeling of the community center.

1.3. Return of Fund. If within twelve (12) months of the date of this Agreement, should the fulfillment of the purpose of this donation, as described above, become frustrated, burdensome, impossible, or impracticable (or if CCP is for some unforeseen reason unable to raise all of the funds it needs to renovate and improve the community center), then the Fund, including principal and income, shall be transferred back to the County to be used by the County for building, improving, remodeling or renovating basketball courts, tennis courts, skate parks and/or trails at the Park or to make such other improvements or renovations at the Park that CCP and the County deem appropriate and that are consistent with the exempt purposes of CCP. The money shall be returned to the County within thirty (30) days of a written request by the County requesting CCP to do so. Upon the refund of the amount of the Fund to the County, CCP shall have no further obligations under this Agreement.

2. Park Improvements. Before January 12, 2019, subject to the provisions of paragraph 3, CCP will build, improve, remodel or renovate basketball courts, tennis courts, skate parks, trails and/or such other improvements or renovations at the Park that CCP and the County's Director of Parks and Recreation deem appropriate and that are consistent with the exempt purposes of CCP (the "Park Improvements"). In the absence of agreement, improvements and renovations will be made in the following order: tennis courts, basketball courts, trails, skate

park. CCP's commitment under this paragraph shall be limited to those improvements or renovations that would have a cost equal to two hundred thousand dollars (US\$200,000) if such projects were undertaken and completed by the County in calendar year 2012. The projects that could be completed by the County for such amount shall be determined through an objective process by the Office of Facilities Development and jointly agreed to by the County and CCP within sixty (60) days after the date of this Agreement. The cost will be determined as though the County itself had made the programmed improvements or renovations (including without limitation what the County would have spent on administration, labor and materials), and not at CCP's actual cost. The aggregate cost of all such improvements and renovations is hereafter called the "Improvement Costs".

3. Project Committee. CCP will establish a Project Committee, to act on its behalf, to oversee completion of the Park Improvements. The County will appoint a member of the Office of Facilities Development and a member of the Parks and Recreation Department to serve as members of the Project Committee. CCP will appoint the other member or members of the Project Committee. The Project Committee will act by majority vote, but CCP shall require that no decision of the Project Committee will be effective unless the County's appointees agree with the majority. The Project Committee will determine the specifications for the improvements or renovations and, if appropriate, request bids. Unless otherwise agreed to by the County, all work shall be performed pursuant to a contract with a licensed contractor who shall provide a performance bond to assure that the work is completed according to the specifications.

4 Potential Payment. On January 12, 2019, CCP shall pay to the County the difference, if any, (but not below zero) between two hundred thousand dollars and the Improvement Costs.

5. Termination of Obligation. CCP's obligation under paragraph 2 terminates, and CCP may disband the Project Committee, at the time the improvements required by paragraph 2 have been completed and the payment described in paragraph 4 is zero.

6. Binding Effect. This Agreement is binding on and shall inure to the benefit of CCP, its successors and assigns, and upon the County, its successors and assigns.

7. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original as against any party whose signature appears thereon, and all of which shall together constitute one and the same instrument. This Agreement shall become binding when one or more counterparts hereof, individually or taken together, shall bear the signatures of both the County and CCP.

8. Severability. The provisions of this Agreement are not severable.

9. Governing Law. This Agreement shall be governed by the laws of the Commonwealth of Virginia.

[signatures on following page]

Claudius Crozet Park, Incorporated

By: _____

Its: _____

Date: _____

Albemarle County, Virginia

By: _____

Thomas C. Foley, County Executive

Date: _____

Crozet Park Project Committee Allocations

In accordance with Article 2 of the January 12, 2012 agreement by and between the County of Albemarle and Claudius Crozet Park, Inc., the Project Committee does hereby approve the following tasks and 2012 cost allocations for capital improvements to Claudius Crozet Park. These improvements, as stipulated in the agreement, are to be provided by Claudius Crozet Park, Inc. on or before January 12, 2019.

- 1) Two adult tennis courts, meeting USTA standards, to replace existing basketball courts/parking lot.
Cost allocation: \$100,000
- 2) One 60 FT x 90 FT concrete basketball court.
Cost allocation: \$ 50,000
- 3) Six foot wide stone dust perimeter trail, approximate length 3,900 feet.
Cost allocation: \$ 50,000 (estimated total cost for perimeter trail is \$100,000)

It is further stipulated herein that these cost allocations are understood to be based on a 2012 budget developed by the Project Committee. It is expected that CCP, Inc. shall provide \$200,000 of value toward improvements to include a minimum of these three projects, or any other improvements mutually agreed by the parties.

Acknowledged herein by the Project Committee:

Robert Mappi, President
Claudius Crozet Park, Inc.

12/20/2012
Date

Robert W. Cinkemburger
Albemarle County Parks and Recreation

12/21/2012
Date

Scott F. Lloyd
Albemarle County Office of Facilities Development

1/2/13
Date

Parkside Village Homeowners Association
P.O. Box 777
Crozet, VA 22932

October 29, 2020

Albemarle County Board of Supervisors
401 McIntire Road
Charlottesville, VA 22902

Subject: Special Use Permit SP202000016 for Claudius Crozet Park

Dear Members of the Board of Supervisors:

As a bordering neighbor, the Parkside Village subdivision has enjoyed its close proximity to Crozet Park and has benefitted from the numerous improvements made during recent years. We applaud the work of so many volunteers who pour timeless energy into maintaining a safe, clean, and enjoyable rural space, as well as those who donate to maintain and upgrade the facilities for our friends, neighbors, and children.

Based on a survey publicized by the Crozet Park Board of Directors, it appears that a number of Crozet community members have supported a larger recreation facility on its grounds. We trust that this survey was balanced and neutral. While we hope that we don't one day lament the loss of a rural park near downtown Crozet to urbanization, we do appreciate how this expansion might meet the needs of the larger community. Trusting that other Crozet locations were considered for a project of this magnitude, we stand in favor of the community's wishes.

With all of this said, on behalf of the Parkside Village subdivision, the Parkside Village Home Owners Association (HOA) conveys the following concerns to the Albemarle County Board of Supervisors in regards to the Special Use Permit Application submitted by Collins Engineering on behalf of Crozet Park:

1. ***Parkside Village Bylaws.*** Tax Map Parcel 056A2-04-00-000A4, which is zoned residential (R-6) was conveyed as a charitable gift to the Park for the sale price of \$0 on 25 Jan 2007. However, it remains part of the Parkside subdivision and is listed as such in the County's records. Therefore, it continues to be subject to the Architectural Review Board of the Parkside Village Homeowners Association as declared in the *Declaration of Convents, Conditions, and Restrictions for Parkside Village* recorded in the Albemarle County Clerk's office. The ARB is required by law to not be "unreasonable, capricious, or arbitrary"¹. To avoid said "arbitrary" discretion, Crozet Park is subject to our application

¹ Civ. Code § 4765(a)(2); See also *Cohen v. Kite Hill Community Assn.* (1983) 142 Cal.App.3d 642.

process just as any other property owner in the Parkside Village subdivision. **We respectfully request that the Special Use Permit be amended with a condition stating that proposed changes to this parcel are subject to these existing and current bylaws.**

2. ***Construction Ingress/Egress.*** The Special Use Permit application seeks to use the gated emergency access road off of Hill Top Street for all construction traffic. This access road lies on the aforementioned R-6 parcel. It was stated during the CCAC meeting held virtually on 14 October 2020 that this was to avoid disruption to Crozet Park's visitors. Please note that *Hill Top Street is the only access route to over 80 existing homes and is already congested with construction traffic as the only access route for Foothill Crossing's most recent build-out phase of an additional 32 homes.* The neighborhood's only school bus stop is at the intersection of the emergency access road and Hill Top Street and, because there is only one entrance to the subdivision, requires the school bus to perform a three-point U-turn at this location. There are 15 or more elementary school-aged children congregating during pick-up and drop-off. With all of these factors, *the HOA believes it is dangerous to put the additional construction burden on the Parkside Village neighborhood, a burden which is unwilling to be borne by the Park itself at neither its two-way main entrance nor existing secondary entrance on Park Road (see Figure 1).* **We respectfully request that the Special Use Permit prohibit construction access from Hill Top Street (and move all construction traffic to one of the two existing entrances on Park Road).**

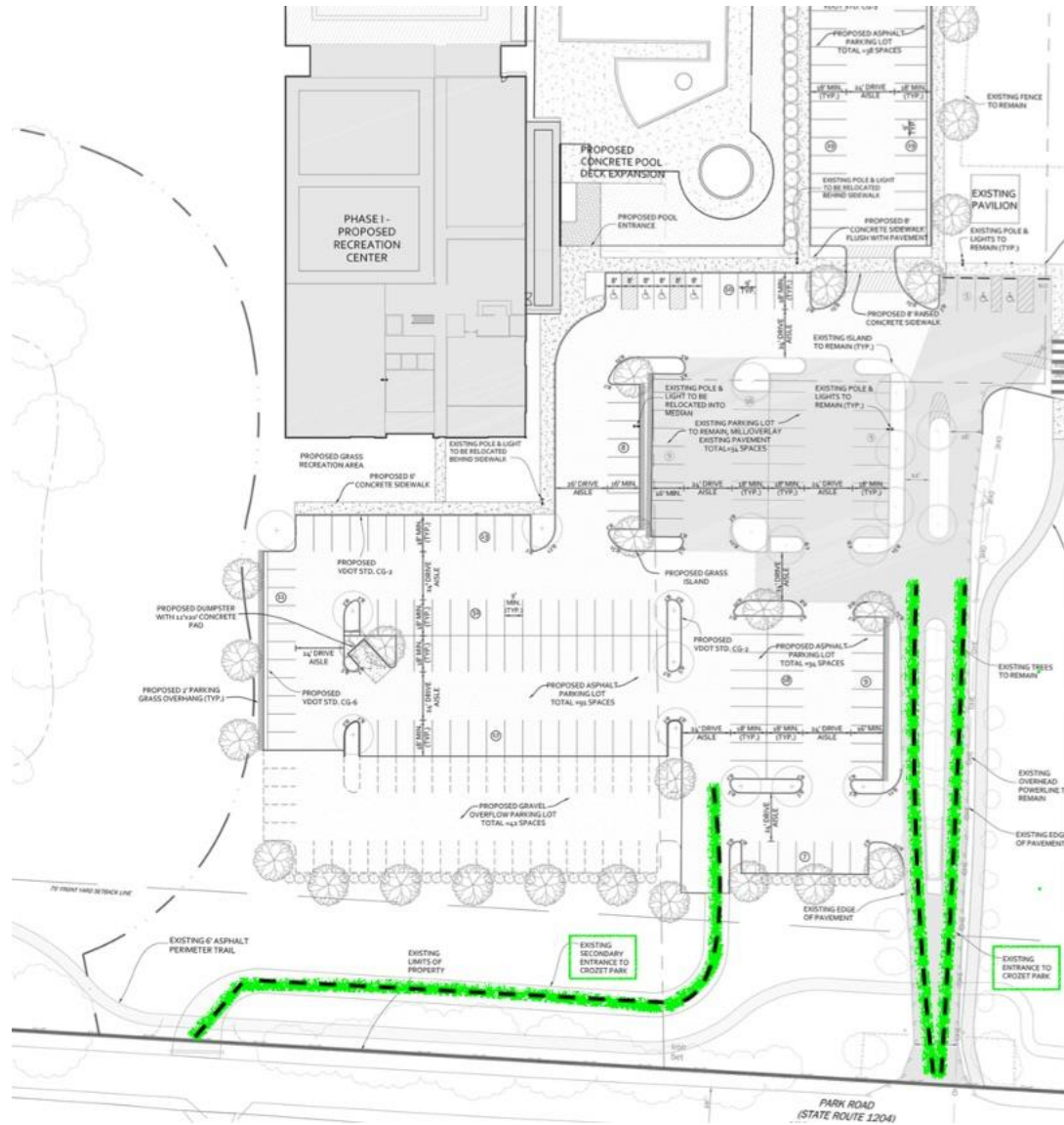


Figure 1. Alternative construction access points for consideration are highlighted by dashed lines.

3. **Permanent Park Ingress/Egress.** During the Claudius Crozet Park Community Meeting held virtually on 14 October 2020 (with the Crozet Community Advisory Committee, CCAC), a community member asked if the emergency access road would become a permanent second access point to the park. Mr. Drew Holzwarth, a member of the Crozet Park Board of Directors representing the Park’s interest at the meeting, responded that it would be used for construction ingress/egress point and that he couldn’t commit to its use after construction is completed. However, the application submitted to the county states otherwise:

(1) “The proposed expansion includes ... a 2nd access point onto Hill Top Street,” and,

(2) *“In addition, with the **proposed second access connection to the park** and the recently completed section of Eastern Avenue, the additional vehicular trips per day to the park are dispersed over the existing road infrastructure in the area to the north, east and west of the park.”*

The conversion of this emergency access point into a permanent connection to the adjacent residential neighborhood is being leveraged to gain application approval and was therefore clear and present knowledge that neither Mr. Holzworth nor Collins Engineering chose to share during the CCAC meeting despite the direct line of questioning.

Our Association has several concerns that we would appreciate being taken into consideration when determining the permanent future of this access point. We do not believe that the VDOT minimum 280 ft sight distance is met in either direction from a vehicle on the access road (see Figure 2). To the left (west), trees on private lots and cars parked on driveways block this sightline. To the center-right (northeast), the steep grade of Hill Top Street obscures oncoming traffic from this vantage point and is a concern that is challenging to discern from maps alone (see Figure 3). We believe this creates a dangerous intersection in a neighborhood heavily trafficked by pedestrians and children at play.

Furthermore, the emergency access point resides on the aforementioned parcel that was donated to the Park. It's conversion to a permanent park entrance that would send additional vehicular traffic into our neighborhood at the expense of our and our children's safety was neither an anticipated nor intended use for our gift.

We respectfully request that conversion of the emergency access road to a permanent park entrance not be granted.



Figure 3. Photograph taken from the area of the proposed permanent park entrance (currently the emergency access point) looking to the center-right (northeast). The steep downward grade of Hill Top Street obscures oncoming traffic.

4. **Screening.** County engineers noted concerns regarding screening between the proposed facility and the Parkside Village subdivision:

*(a) "The parking areas will need to be screened from the adjacent residential uses at the site planning stage."*²

*(b) "Consider adding screening landscaping in the area near the new structure. This may mitigate the impact of the structure on the lots on TMPs 56A2-02-0B 19, 21, 23, and 25."*³

² Letter to Mr. Scott Collins (Collins Engineering) from Mr. Andy Reitelbach (Planning Division, County of Albemarle) dated October 2, 2020.

³ Memorandum: Initial Review Comments for SP2020-00016. To Andy Reitelbach, From Francis H. MacCall. Division: Zoning. Date: 9/22/2020 / 10/05/2020.

*(c) "Also consider screening landscaping along the proposed entrance from Hill Top Street. (d) Be mindful of lighting on the building when designing the building and final site plan. The need for lighting on the west side of the building is more than likely unnecessary which should avoid conflict (sp) the adjacent residential. Glass walls, similar to the YMCA in McIntire Park are discouraged, as the lighting within the structure more than likely will create a big impact to the adjacent residential properties."*⁴

*(d) "The landscape mentioned above may be condition (sp). This may be able to be covered in the first standard condition as a major element."*⁵

After several communications with the Park regarding noise pollution in past years (for example, the noise that was created by the pool's dome maintenance system after the initial install and the lightning alarm siren that continues to erroneously sound and flash after 9pm), our subdivision greatly appreciates such suggestions from the engineers.

When asked about plans to maintain a screen between the proposed facility and adjacent neighborhood during the CCAC meeting, Collins Engineering and Mr. Holzwarth offered little information. The submitted plan shows the removal of existing mature growth trees at the Park's north boundary (see Figure 4). With the tree clearing for the new Foothill subdivision bordering the Park (and erroneous over-clearing which extended well within the 100ft buffer required for creek at the Park's northeast corner), *these trees are the only remaining light and noise abatement features on the entire northern park boundary, a boundary that extends nearly a quarter mile along residential neighborhoods.* Their imminent removal leaves no natural screening whatsoever. **We respectfully request that a screening design plan be required by the County as a condition prior to granting the Special Use Permit. We also request a public forum for input on said screening plan prior to County approval.**

⁴ Ibid.

⁵ Ibid.



Figure 4. Photograph looking from Indigo Road towards Crozet Park. The submitted Special Use Permit application includes removal of the large trees behind the Quick Start tennis courts, the only remaining light and noise abatement features between the Parkside Village subdivision and the existing Park buildings and pool.

Members of Parkside Village received a letter from Collins Engineering approximately one week prior to the October 14th virtual CCAC public meeting. In addition to this short notice, the letter also provided inaccurate Zoom information for the call. This, combined with the webinar style format of the call, provided little opportunity for community members to interact with Collins Engineering and Mr. Holzwarth. Questions were submitted in writing via a chat box, though time did not allow for the host to relay all questions and concerns. The forum was not amenable to follow-up questioning since no direct discussion between non-CCAC members and Mr. Holzwarth and Collins Engineering was permitted. As citizens of Albemarle County and the community of Crozet, we appreciate this opportunity now to express our concerns and make the above requests to the BoS.

Let us clearly and unequivocally state that our intention is not to stall or stop progress on the Park's expansion plans but rather protect, with reasonable accommodations, the surrounding residential neighborhood. As members of the Board of Supervisors, your advocacy on our behalf forms the basis for a healthy local democracy that strikes balance between urban development and the concerns of the citizens which already live here.

Respectfully,

Parkside Village Homeowners Association

Board Members:

Justin Beck

Emil Groth

Will Brown

Jim Duncan

Sarah Kasen

cc: Andy Reitelbach, Allie Pesch, Jennie More

Andy Reitelbach

From: Megan Nedostup
Sent: Wednesday, March 10, 2021 12:34 PM
To: Andy Reitelbach
Subject: Fw: Crozet Park

Megan Nedostup, AICP

(pronounced nuh-DAHST-up)

Development Process/Project Manager

She, her, hers

[Albemarle County](#)

mnedostup@albemarle.org

434-296-5832 x3004

401 McIntire Road, Charlottesville, VA 22902

From: Pattie Baber <plb3287@embarqmail.com>
Sent: Wednesday, March 10, 2021 12:30 PM
To: Planning Commission <PlanningCommission@albemarle.org>
Subject: Crozet Park

CAUTION: This message originated outside the County of Albemarle email system. DO NOT CLICK on links or open attachments unless you are sure the content is safe.

I am very concerned about opening the gate on Hilltop Street to the Park,

My concern is I am the last house on the left coming down Hill Top Street, and

When I back out of my driveway, I have traffic coming from Parkside, the new development

Behind Parkside and the gate on Hilltop Street. Coming out the Park there are trees on the left that blocks

My view especially in the summer—will these trees be taken care of. Also, traffic coming out this gate, they can't

see what is coming down the road not unless they pull out close to the street. If the gate is opened

Up for traffic will there be a stop sign. Why can't the two gates that goes out on park road be opened up

I know one is always open.

Andy Reitelbach

From: Scott Kasen <skasen@hotmail.com>
Sent: Friday, October 30, 2020 9:36 AM
To: Andy Reitelbach
Subject: Comments regarding Special Use Permit SP202000016 Claudius Crozet Park

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Mr. Reitelbach,

We are reaching out to you as the point of contact for the Crozet Park/Collins Engineering Special Use Permit Application SP202000016.

We are the owners/residents of 3009 Indigo Rd (TMP 056A2-04-00-01300) in the Parkside Village subdivision in Crozet. As residents of Parkside Village since 2005, we have watched the Park grow over the years and very much appreciate the hard and thoughtful work that has gone into providing local community members with this beautiful resource. While we support the plans to further improve the pool and facility, we do have a few concerns we'd like to share:

1. The proposed plan uses the existing emergency exit to Hilltop Street (the Pomeroy Gate) as an ingress/egress for construction traffic. Given that there are already two suitable entrances off of Park Road and the current increase of construction traffic down the residential Hill Top Street and into Parkside Village to accommodate the new Foothill development at the end of Indigo Road, we request that the Hilltop Street park entrance not be used in this capacity.
2. The proposed plan uses the existing emergency exit to Hilltop Street (the Pomeroy Gate) as a permanent ingress/egress to divert park traffic once the new facility is completed. As Hill Top Street is currently the only exit point for more than 60 homes - soon to be more, once the Foothill development is complete, this adds a huge burden to a street that has an immense amount of foot traffic on a daily basis. Furthermore, the sidewalk on Hill Top Street is in such poor condition that most pedestrian traffic is forced into the street. This road is used daily by a significant number of people on foot and bicycle to connect to the downtown Crozet area. Therefore, we request that this emergency exit continue to only be used for emergencies and special events and that it does not become a permanent park entrance.
3. Upon reviewing the Special Use application, it appears absent a plan to screen Parkside Village. This is concerning, especially with the removal of the mature behind bordering our neighborhood. We have approached the Park on several previous occasions due to disruptive blower noise from the dome (which vibrated the walls of our home at all hours of the day) and the lightning warning system siren which can sound late at night. The loss of these trees will further exacerbate this issues and potential future ones without the installation of new screening.

As part of Parkside Village, we also share the concerns noted in the Parkside Village Homeowners Association letter submitted to your office dated October 29th, 2020.

Thank you for your consideration.

Scott and Sarah Kasen
3009 Indigo Road
Crozet, VA 22932

Andy Reitelbach

From: Betty G <ebsl@comcast.net>
Sent: Thursday, October 29, 2020 12:46 PM
To: Andy Reitelbach
Subject: SP202000016 – Claudius Crozet Park

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Andy,

As the owners/residents of 3015 Indigo Rd (TMP 056A2-04-00-01200) in Parkside Village, we have the following comments regarding the SUP for expansion of facilities at Crozet Park. We have resided here since 2003, and enjoy the park and its facilities on an almost daily basis. We have volunteered on various projects with the park, and Betty served on the park board and maintained the park's website for several years.

While we are not opposed to the Park's plan for further development and expansion of the fitness facilities, we have some concerns that should be addressed as part of the approval process:

1. The proposed plan removes multiple mature trees behind the current fitness building to Indigo Road and adds an impervious asphalt parking lot/travelway. This area should include landscaping to enhance biodiversity, to enhance the pedestrian experience on the perimeter trail, and to provide a visual buffer to the adjacent neighborhood. Such landscaping would be consistent with the Comprehensive Plan strategy to "Preserve existing vegetation in areas shown as Parks and Green Systems on Development Area Master Plans." (Strategy 4d.)
2. The proposed 6'-8' vinyl black vinyl chain link fence to be installed around the proposed basketball courts is inappropriate in scale for the pedestrian pathway and would appear as a large cage.
3. The existing exit to Hilltop Street (the Pomeroy Gate) should remain in its current configuration and for limited use for emergencies and for one-way exit for events such as the Arts & Crafts Festival and the Independence Day celebration. This should not be considered as an additional entrance/exit to the park or for construction access. The park has appropriate access to/from Park Road.
4. The proposed 6' asphalt trailway across 056A2-04-00-000A4 is not necessary and only serves to contribute more impervious asphalt. Pedestrians and other users of the perimeter trail currently can enter the trail through the main entrance, the Pomeroy Gate at Hilltop Street or directly from Indigo Road. There is no reason to add a spur path.

As part of the Parkside Village Homeowners Association, we have reviewed a draft email with the HOA's comments, and we also share the concerns noted in their email.

Thank you for your consideration of our comments.

Emil and Betty Groth
3015 Indigo Rd
Crozet VA 22932
434-823-2943 home

Andy Reitelbach

From: Phil Kirby <Pkirby@cmainc.us>
Sent: Monday, October 26, 2020 10:20 AM
To: Andy Reitelbach
Cc: Allie Pesch; Jennifer J Kirby
Subject: Crozet Park

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Andy,

After the Crozet Park Special Use Permit zooming meeting on the 14th I've taken some time to digest my impressions and wanted to share my thoughts about the process and the content.

First, I think it is a good thing to solicit neighborhood input although attending the meeting via zoom rather than in person was a bit confining. I am not clear on the Virtual Meeting process for responding to public questions or comments submitted prior to the Meeting. I do not know how others felt but it was odd to submit questions/comments prior to the meeting that may or may not be addressed by the people actually active in the Video/Zoom meeting.

Second, I had a chance to look at the additional Crozet Park Expansion project information that was attached to the previous Meeting Minutes which included staff and agency comments from the Applicant's August Submittal. I see that some of the questions raised in my previous letter were also commented by staff and other agencies, however, I did not see where the impact of construction on the adjacent neighborhoods is addressed in the attachments to the previous meeting minutes.

Based on comments at the meeting it was clear to me the Applicant has no intention of disturbing its own Park operations during construction nor did they seem concerned about how construction work will impact adjacent neighborhoods. Incorporating neighborhood concerns should be equally aggressive and intentional. This is a serious issue for those of us experiencing the Foothill construction operation.

From my own observations, and mentioned by a resident at the meeting, based on the progress of the Foothill Crossing construction project next door to Crozet Park, it seems that it is considered acceptable by County Staff, the Applicant and its Designer to stage dump trucks and turn them around on neighborhood roads. It appears it is also acceptable to put Porto-johns in front of neighbor homes and Site Debris Management areas close to neighboring homes. The Foothill Crossing construction project plans include no requirement to stage construction vehicles *within the Construction Site* verses outside of the Construction site which makes the work more disruptive than it should be and is, frankly, inconsiderate.

Staff and agency comments did not address this at all - maybe it is beyond their purviews. The construction impact of these Projects/Developments can be mitigated, but planning for it has to be intentional and should be seriously considered during early reviews. The manner in which the current Foothills Crossing construction work has been handled **did not** consider how it is disturbing neighbors in Parkside Village and along Hilltop Road. Construction impacts for this Project can be mitigated very cost effectively but they have to be planned just as intentionally as the applicant has - **and some agency has to advocate for that.**

Lastly, it was unclear at the community meeting what information Staff reviewed relative to the use of the Emergency Access Road entrance to Hilltop Road in the future. The Designer said it would only be used for large events while the Applicant indicated they would not accept any limitations on how they might use it. The VDOT Comments are also unclear on whether they reviewed the improvements as an Emergency Access road or a two way Entrance to the Park. **This is a very serious issue for a lot of reasons** – the Hilltop Road entrance sight distances, bus stops, traffic build up, sequence with the development of neighborhood infrastructure (future roads) to Downtown Crozet – and how all of this impacts the adjacent neighborhoods.

I am looking forward to additional project information and a chance to review the Applicants response and comments.

Regards,

Phil Kirby

Andy Reitelbach

From: Phil Kirby <Pkirby@cmainc.us>
Sent: Friday, October 9, 2020 8:30 AM
To: scott@collins-engineering.com
Cc: Andy Reitelbach; Jennifer J Kirby
Subject: Comments on the request for a Special Use Permit Crozet Park Building and Parking Lot Expansion

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October 9, 2020

Collins Engineering
Scott Collins
200 Garrett Street, Suite K Charlottesville, VA 22902

Mr. Collins,

We live in the Parkside Village development in Crozet. We received a letter from your office (undated) on October 6, 2020 regarding SP2020-16 Claudius Crozet Park Community Meeting.

We have read the application for the Special Use Permit and have a number of questions that we would like to have addressed publicly but more generally the letter is a bit confusing about what the purpose of the October 14 meeting versus the October 23 questions and comments deadline which are both noted in your letter. It would be helpful to understand the difference between these time frames. Is one an info session while the other is an official public comment deadline?

We'd like to start by saying that we raised our family next to Crozet Park and for nearly 20 years we benefited from it in countless ways. I was also personally involved in improving the existing athletic facility and installation of the dome when it was first managed by the YMCA. We have found that the park has remained focused on being a great asset for everybody in the area and being a good neighbor.

Unfortunately we have also watched firsthand the development of Foothill Crossing in our backyard. That project has been poorly communicated, implemented without consideration for the neighbors it is impacting and, frankly, includes aspects that were not fully divulged and understood. We can only blame ourselves that we were not more involved during the review processes for that project.

We include the above explanation because we understand that we are in a development area and expect that Crozet will continue to grow and become more populated and we also expect, as long time contributors to the park and the area, to be treated like neighbors, a valuable asset, when changes are implemented. So receiving an undated letter about a meeting in eight days was a bit of a surprise.

Specific comments/questions about the Special Use Permit Application

1. Special Use Permit Application PDF is hard to read because it is very blurry. The drawings attached to it are pretty much impossible to read. Since that is the source for public access to the information it would be helpful if that was improved (the other non-pdf six page drawing set is easy to read).

2. The Project Proposal does not indicate who is going to manage the new facility or whether any public funding will be included in the project. These questions are being asked in the spirit of being transparent relative to what type of facility this will be and how we can expect it to operate.
3. The project contemplates adding traffic from the expanded facility and the enlarged parking onto Hilltop Street. This is pretty significant when the additional development at Foothill Crossing and other developments have been and continue to be added to the volume. Has a complete traffic study been done to justify an assumption that additional traffic can be added to local roadways without any master plan road infrastructure improvements in place? My request for a complete Traffic Study was raised at a Planning Commission meeting on another housing development project in Crozet years ago. It seems to us as though Traffic Studies in Crozet are being avoided by the Developers during the initial Project Approval Process when these projects are phased or broken up into smaller sized developments. **This is a very important issue and, we would propose, are grounds for not approving the Special Use Permit.**
4. Did the Comprehensive Plan contemplate the new connection to Hilltop Street before other road improvements were installed? This is a corollary to question #3 specific to whether the new connection to Hilltop was ever contemplated and if it was when was it sequenced to happen.
5. Development Impacts on the Public Facilities & Public Infrastructure does not address the power to the site. Will the power be upgraded as part of the project? If it is how will it be implemented. This was a deferred issue when the pool dome project was put in place.
6. Development Impacts on the Public Facilities & Public Infrastructure states that per VDOT manual there will 985 vehicles per day using the new facility but avoids stating the current number of vehicles per day. It also talks about the “recently completed section of Eastern Avenue” and other “dispersed” access. Is there a study to support the comprehensive traffic impact that is alluded to?
7. Sheet 1 - The point at which the proposed new permanent road ties into Hilltop is certainly an awkward intersection. Did an engineer look at how all the traffic will come together at that point (this is also shown as a designated bike path which presumably would connect to Indigo Lane)? This does not seem to be a safe intersection for cars or kids on bikes. Further, you seem to be proposing that once the Crozet downtown connector is in place folks from the eastern developments would enter the park through Parkside Village or, potentially, cut through the park to go downtown.
8. Sheet 1 - Is there a limit to how much of the park can become impervious area? This application proposes to take the total impervious (paved area) to something over 7 of the park’s 22 acres. This question is about how much more building/parking could happen down the road.
9. Sheets 2 and 4 - Many of the large trees that provide buffer from the activities at the pool to the neighborhood are proposed to be cut down to build a parking area behind the existing mini-tennis court. The back of the new building will be thrust visibly into the neighborhood. This raises a number of questions.
 - a. Has the special use permit considered adjacent neighbors when this was put together? There is no section in it that addresses the neighborhood in the narrative.
 - b. Were other options considered to accommodate the 30 or so permanent parking spaces? In effect what this proposes to do is make new basketball courts closer to Indigo Road and add parking.
 - c. Did you consider putting basketball courts indoors? If the need for basketball courts truly exists, outdoor courts seem to be a poor accommodation - they aren’t used *that* often because they are outside. Possibly your meeting room could double as an indoor basketball court.
 - d. The back of the new building will be thrust visibly into the neighborhood after trees are cutdown and parking lot installed. It is very difficult to comment on this at this stage of

the drawings but what function occurs there and what it looks like would certainly be a concern.

- e. Similar to Foothill Crossing, it does not appear as though any buffer to the neighbors is being contemplated. **This is a very important issue and, we would propose, are grounds for not approving the Special Use Permit.**
10. Sheet 5 -The area behind the existing pool and slopes off pretty quickly. It appears that only two of the existing large trees are planned to remain. It appears that under these trees new planting and water quality features are going to be installed which seems tricky. Could the approach to storm water management in this area be better explained?
11. Sheet 6 - Proposed road over the stream at Foothill Crossing was shown on the Foothill Crossing drawings as being in place only until the road extension to downtown is done. Which drawing is correct – the Foothill Crossing E&S Plan or this drawing?
12. Sheet 6 - This drawing demonstrates that the roadway and bike paths don't go anywhere because the roads they connect to are not being built.
13. Unshown – the Foothill Crossing development next door to Crozet Park has elevated our concern about how the work will be implemented relative to:
 - a. What should the neighborhood expect relative to construction duration?
 - b. What should the neighborhood expect relative to construction entrance?
 - c. What should the neighborhood expect relative to staging area (porto-potties, dumpsters, etc.) ? Will they be planned to set up as close to the neighborhood as possible or will they be placed well within the site away from the neighborhood?
 - d. Can we help in procurement of a dark green or black silt fence (instead of neon orange)?

Clearly our concerns include disappointments over what we have seen implemented in the recent work at Foothill Crossing and we are hopeful that those issues can be addressed before the Special Use Permit for this project is presented for approval.

Finally, this is the opinion of just one household at Parkside Village and without consultation with any of our neighbors due to the time constraints imposed by the short notice.

We look forward to the virtual meeting next week.

Philp Kirby

Andy Reitelbach

From: Long, Valerie <vlong@williamsmullen.com>
Sent: Wednesday, October 14, 2020 8:42 PM
To: Andy Reitelbach
Subject: Crozet Park SUP

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Hi Andy,

Thanks for your presentation tonight at the CCAC. I wanted to share my strong support for this application as proposed. Since we were running over on time tonight I thought it would be more efficient for me to provide my comments to you in writing instead of during the community meeting. My family and I are frequent users of the Park, and feel that this expansion is carefully designed and thought out to successfully balance the community's growing needs for additional recreational facilities and preserving open space at the Park, all while working to keep the prices affordable for the community, a balance that is incredibly challenging. I can echo Joe Fore's comments that the expansion area is not disturbing prime green space or open space, much of it is already impervious or less functional.

As a Crozet resident I am very grateful for Crozet Park and the variety of amenities and activities it provides for residents of all ages, interests, and abilities. I also appreciate the contributions of the volunteer members of the Park Board of Directors in working to bring these park improvements to the community.

Thanks,

Valerie

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