

BREEZY HILL REZONING CONCEPT PLAN

DEVELOPER
SOUTHERN DEVELOPMENT
CHARLIE ARMSTRONG
142 SOUTH PANTOPS DRIVE CHARLOTTEVILLE,
VIRGINIA 22911

PROPOSED R1 DEVELOPMENT STANDARDS
PER THE R-1 DEVELOPMENT STANDARDS IN THE ALBEMARLE COUNTY ZONING
ORDINANCE.
EXPECTED NUMBER OF DWELLING UNITS: 80

APPROXIMATE AREA SUMMARY

APPROXIMATE TOTAL BREEZY HILL AREA:	75.6 Ac.	100%
APPROXIMATE AREA IN LOTS:	46.3Ac.	± 61%
APPROXIMATE AREA IN RIGHT-OF-WAY:	7.2 Ac.	± 10%
APPROXIMATE AREA IN GREEN SPACE*:	22.1 Ac.	± 29%

*GREEN SPACE INCLUDES STREAM BUFFER, FLOODPLAIN, PRESERVED STEEP SLOPES, OPEN SPACE, RECREATION AREAS SUCH AS POCKET PARKS AND TRAILS

STORMWATER MANAGEMENT NARRATIVE

THREE ONSITE PONDS ARE PROPOSED FOR SWM. NOT LESS THAN 75% OF THE WATER QUALITY REQUIREMENT SHALL BE ACCOMPLISHED ON SITE. ADDITIONAL BMP FACILITIES MAY BE REQUIRED BASED ON FINAL GRADING AND ENGINEERING. NO ADDITIONAL BMP FACILITIES SHALL BE CONSTRUCTED WITHIN THE DESIGNATED STREAM BUFFER. STORMWATER CONVEYANCE CHANNELS MAY BE CONSTRUCTED AND IMPROVED WITH THE BUFFER AS NECESSARY TO COMPLY WITH WATER QUANTITY REQUIREMENTS.

PROPOSED STREET SPECIFICATIONS

PROPOSED STREETS ARE TO BE PUBLIC STREETS DESIGNED TO MEET VDOT SPECIFICATIONS.

PROPOSED TRAIL SPECIFICATIONS

PRIMITIVE TRAILS ARE TO BE CONSTRUCTED TO THE ALBEMARLE COUNTY DESIGN STANDARDS MANUAL CLASS B-TYPE 1, PRIMITIVE NATURE TRAILS STANDARDS.

- SURFACE: EARTH
- MIN. WIDTH: ENOUGH TO MARK LOCATION
- DESIGN ALIGNMENT: 20% MAXIMUM GRADE (THIS IS A MINIMUM IMPACT NATURE TRAIL)
- OTHER DESIGN CONSIDERATIONS: TRAIL BREAKS TO PREVENT EROSION, WITH FOOT BRIDGES OVER MAJOR OBSTACLES.

PEDESTRIAN PATHWAY IS TO BE CONSTRUCTED TO THE ALBEMARLE COUNTY DESIGN STANDARDS MANUAL CLASS A-TYPE 1, LOW MAINTENANCE, PEDESTRIAN PATH

- SURFACE: 2" ASPHALT OVER 4" AGGREGATE BASE
- MIN. WIDTH: 5' SURFACE
- DESIGN ALIGNMENT: 10% MAXIMUM LONGITUDINAL GRADE, 2% MAXIMUM CROSS-GRADE
- OTHER DESIGN CONSIDERATIONS: DRAINAGE DESIGN AS FOR A PUBLIC ROAD

MULTI-USE TRAILS ARE TO BE CONSTRUCTED TO THE ALBEMARLE COUNTY DESIGN STANDARDS MANUAL CLASS A-TYPE 2, LOW MAINTENANCE, MULTI-USE, SHARED USE PATH

- SURFACE: 2" ASPHALT OVER 6" AGGREGATE BASE
- MIN. WIDTH: 10' SURFACE AND 2' CLEARED SHOULDERS
- DESIGN ALIGNMENT: GRADES TO BE ADA ACCESSIBLE.
- OTHER DESIGN CONSIDERATIONS: DRAINAGE DESIGN AS FOR A PUBLIC ROAD

PROPOSED DEVELOPMENT STANDARDS

LOTS SHALL NOT ENCROACH INTO THE STREAM BUFFER OR PRESERVED SLOPE AREAS.

SECONDARY VEHICULAR ACCESS POINT AT RUNNING DEER DRIVE IS TO BE INSTALLED PRIOR TO THE ISSUANCE OF THE 31ST BUILDING PERMIT. THE VEHICULAR ACCESS AT RUNNING DEER DRIVE SHALL BE EMERGENCY ACCESS ONLY UNLESS A FULL VEHICULAR CONNECTION IS REQUIRED BY VDOT.

TWO LAYERS OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED WHERE DEVELOPMENT ABUTS STREAM BUFFERS.

NO GRADING AND EROSION CONTROL MEASURES SHALL ENCROACH INTO THE STREAM BUFFER EXCEPT FOR THE CONSTRUCTION AND/OR IMPROVEMENT OF STORMWATER CONVEYANCE CHANNELS THAT MAY BE REQUIRED TO COMPLY WITH WATER QUALITY REQUIREMENTS.

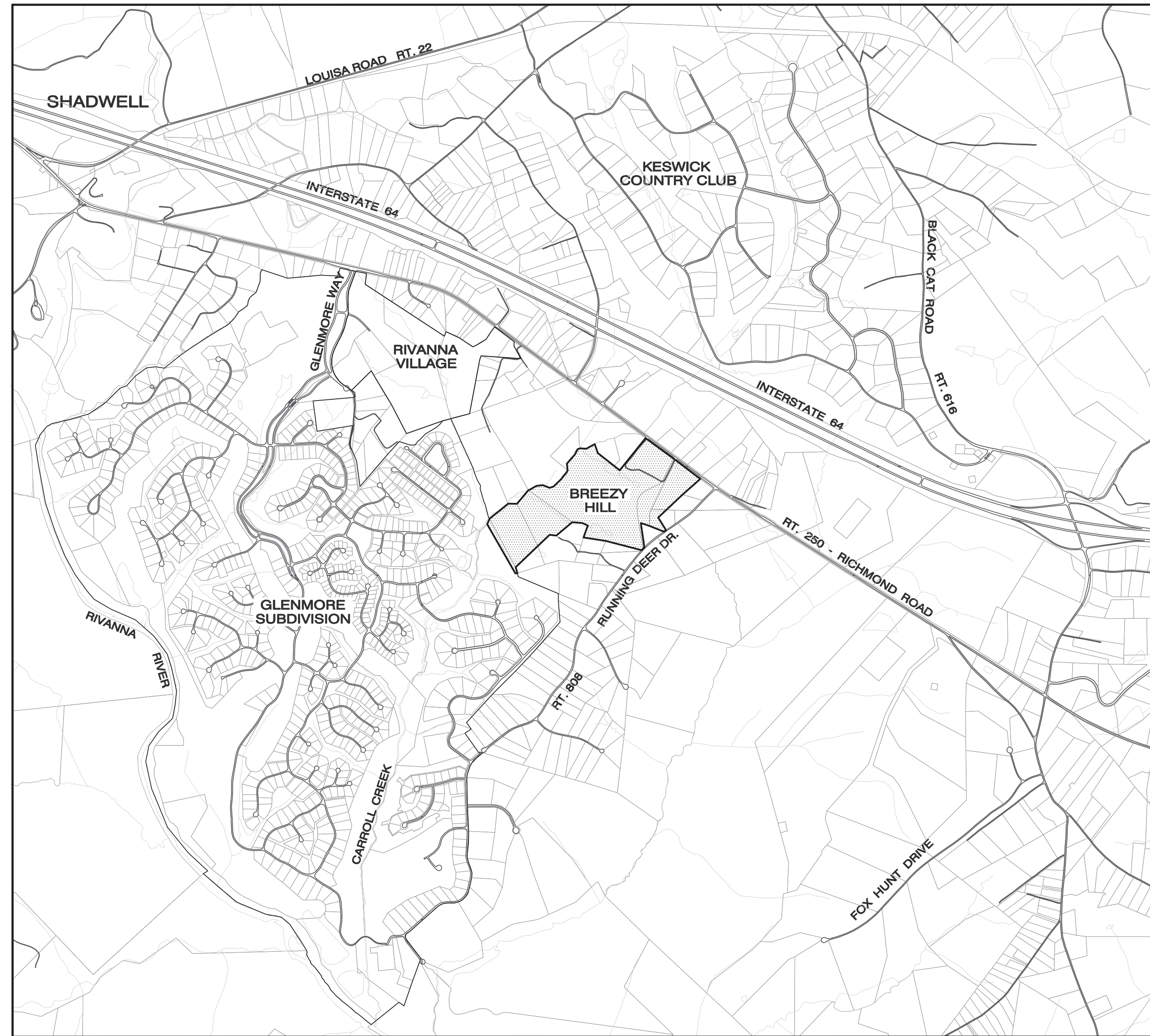
ALL CONSTRUCTION TRAFFIC SHALL ENTER/EXIT THE SITE THROUGH THE MAIN ENTRANCE ON ROUTE 250 AND WILL NOT BE PERMITTED TO USE THE ENTRANCE AT RUNNING DEER DRIVE.

STREET TREES WILL BE PLACED ALONG ALL INTERIOR ROADWAYS AND ALONG ROUTE 250 FRONTAGE.

POCKET PARK SHALL CONTAIN PICNIC SHELTER WITH TABLES AND GRILLING FACILITIES.

TOT LOT DEVELOPMENT STANDARDS

ONE TOT LOT OF AT LEAST 2,000 SQ FT SHALL BE PROVIDED AND SHALL CONTAIN, AT A MINIMUM, ELEMENTS WHICH PROVIDES AN AMENITY EQUIVALENT TO A) ONCE CLIMBING APPARATUS, B) ONE OBSTACLE, C) ONE SLIDE, D) ONE SWING (TWO SEATS), AND E) TWO BENCHES. SUBSTITUTIONS OF EQUIPMENT OR FACILITIES MAY BE APPROVED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT, PROVIDED THEY OFFER A RECREATIONAL AMENITY EQUIVALENT TO THE FACILITIES LISTED ABOVE.



ADJACENT PARCEL INFORMATION

08000-00-00-05600 GIULIANO, GORDON R OR JULIANNE M JACKSON 3817 RICHMOND RD KESWICK VA, 22947 PRESENT USE: RESIDENTIAL	09400-00-00-00700 MILLS, AUDREY HEARNS ETAL C/O KAREN ANDERSON 1401 VINE STREET CHARLOTTEVILLE VA, 22902 PRESENT USE: RESIDENTIAL
08000-00-00-056A0 DEVALL, ROGER R & DOROTHY Y DEVALL TRUSTEES OF DEVALL LIVING TRUST 24 BROUGHAM RD PALMYRA VA, 22963-2713 PRESENT USE: RESIDENTIAL	09400-00-00-007A0 HAWKINS, CLARENCE M & BEATRICE 1474 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-056A1 GOODE, TOBY L OR JOAN P 301 MEADE AVE CHARLOTTEVILLE VA, 22902 PRESENT USE: RESIDENTIAL	09400-00-00-007B0 HAWKINS, LARRY R 1474 RUNNING DEER DRIVE KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-056B0 MEANS, G NEIL & SUSAN L ROARK TRUSTEES OF SUSAN L ROARK TRUST 3815 RICHMOND RD KESWICK VA, 22947 PRESENT USE: VACANT / AGRICULTURAL	09400-00-00-008C0 HAWKINS, CLARENCE M OR BEATRICE B 1404 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-06300 MILLER, FLORENCE EST C/O ALEXANDRA BURRUSS 1940 OLIVER CREEK TROY VA, 22974 PRESENT USE: VACANT	09400-00-00-008D0 KUNDZINS, JOHN L & MARY R 1450 RUNNING DEER DRIVE KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-063A0 THOMAS, WILLIE C OR RUBY S 829 HARRIS RD CHARLOTTEVILLE VA, 22902-6468 PRESENT USE: VACANT	09400-00-00-008E0 EWERS, PATRICIA A 1454 RUNNING DEER DRIVE KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-063B0 MILLS, CURTIS V OR JOYCE 4028 RICHMOND ROAD KESWICK VA, 22947 PRESENT USE: RESIDENTIAL	09400-00-00-008F0 WASHINGTON, ALICE BOYD 1458 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-06400 ANDERSON, WILLIE C & BETTY E ANDERSON CO-TRUSTEES OF THE ANDERSON LIVING TRUST 503 VICTORIA WAY FRIENDSWOOD TX, 77546-4959 PRESENT USE: VACANT	09400-00-00-046A1 KIRBY, RONALD LEE & DEANNA DEHOOGUE KIRBY, TRUSTEES 1385 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-064A0 THOMAS, ANTOINETTE R OR WALLACE C 829 HARRIS RD CHARLOTTEVILLE VA, 22902 PRESENT USE: RESIDENTIAL	09400-00-00-046A2 KIRBY, WILLIAM MONTY, VICKI KELLI BRYANT & JASON KIRBY, TRS 1435 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
08000-00-00-06500 ANDERSON, OLIVER 3206 BROOKLAWN TERRACE CHEVY CHASE MD, 20815 PRESENT USE: RESIDENTIAL	09400-00-00-04700 CARTER, KENDALL A OR TANJAY Y 1304 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
093A4-00-00-000J0* GLENMORE COMMUNITY ASSOCIATION INC P O BOX 93 CHARLOTTEVILLE VA, 22906 PRESENT USE: GLENMORE SECTION Q2 OPEN SPACE	09400-00-00-047A0 CARTER, TANJAY Y OR KENDALL A 1340 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
093A4-00-00-000H5* PIEDMONT NEIGHBORHOODS LP 11710 PLAZA AMERICA DRIVE STE 1100 RESTON VA, 20190 PRESENT USE: GLENMORE SECTION S5 RESIDUE & OPEN SPACE	09400-00-00-04800 KIMCO LC 1510 EAST HIGH ST CHARLOTTEVILLE VA, 22902 PRESENT USE: RESIDENTIAL
09400-00-00-00300 MEANS, G NEIL & SUSAN L ROARK TRUSTEES OF SUSAN L ROARK TRUST 3815 RICHMOND RD KESWICK VA, 22947 PRESENT USE: VACANT	09400-00-00-048A0 KIMCO LC 1510 EAST HIGH ST CHARLOTTEVILLE VA, 22902 PRESENT USE: VACANT
09400-00-00-00400 MEANS, G NEIL & SUSAN L ROARK TRUSTEES OF SUSAN L ROARK TRUST 3815 RICHMOND RD KESWICK VA, 22947 PRESENT USE: RESIDENTIAL	09400-00-00-049B0 WILLINGHAM, PAMELA 1360 RUNNING DEER DR KESWICK VA, 22947 PRESENT USE: RESIDENTIAL
09400-00-00-00600 CARROLL CREEK PROPERTIES LLC 1145 TIMBER LN BOULDER CO, 80304 PRESENT USE: RESIDENTIAL	09400-00-00-049C0 POWELL, VIRGIL F OR SHIRLEY C ASSET PROTECTION TRUST 1400 RUNNING DEER DRIVE KESWICK VA, 22947 PRESENT USE: RESIDENTIAL

* PARCELS 093A4-00-00-000J0 AND 093A4-00-00-000H5 ARE ZONED PRD.
ALL OTHER PARCELS ARE ZONED RA.

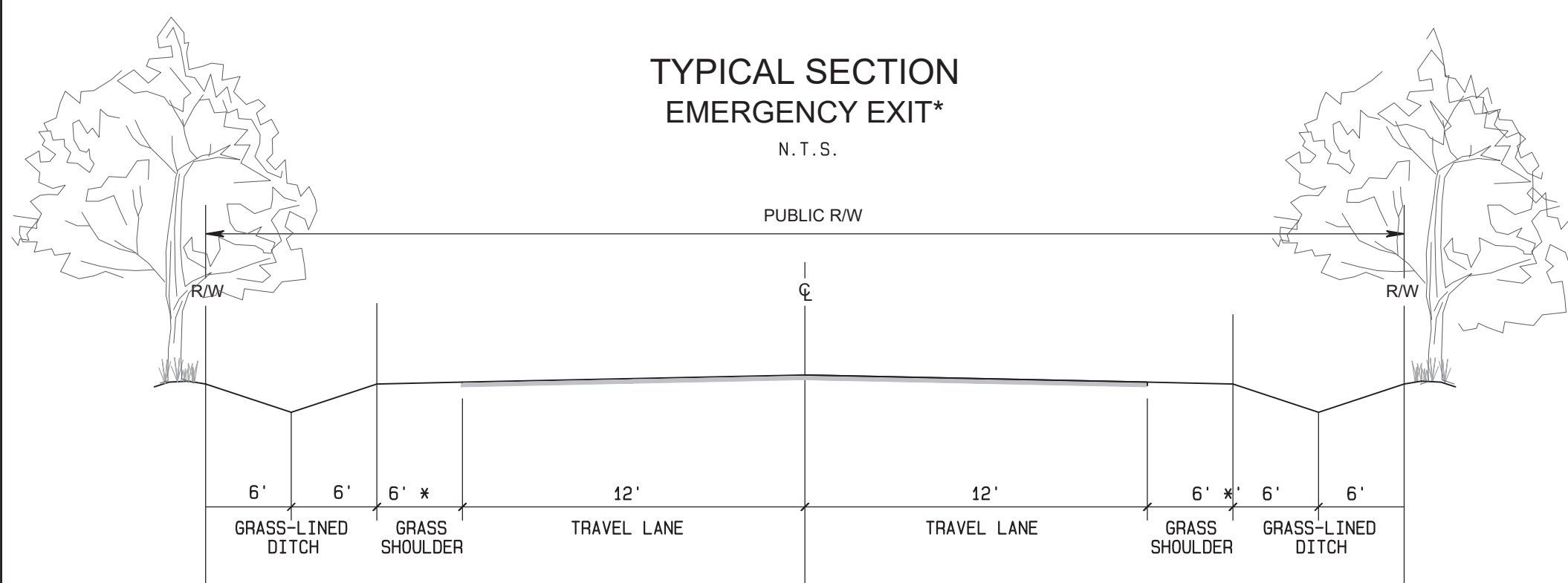
OWNER INFORMATION

09400-00-00-001A0 CARROLL CREEK PROPERTIES LLC 1145 TIMBER LN BOULDER CO, 80304 PRESENT USE: VACANT	09400-00-00-00800 BREEZY HILL AT KESWICK, LLC 1145 TIMBER LN BOULDER CO, 80304 PRESENT USE: VACANT
09400-00-00-00500 CARROLL CREEK PROPERTIES LLC 1145 TIMBER LN BOULDER CO, 80304 PRESENT USE: VACANT	09400-00-00-008A0 BREEZY HILL AT KESWICK LLC 1145 TIMBER LN BOULDER CO, 80304 PRESENT USE: RESIDENTIAL
09400-00-00-00600 CARROLL CREEK PROPERTIES LLC 1145 TIMBER LN BOULDER CO, 80304 PRESENT USE: RESIDENTIAL	

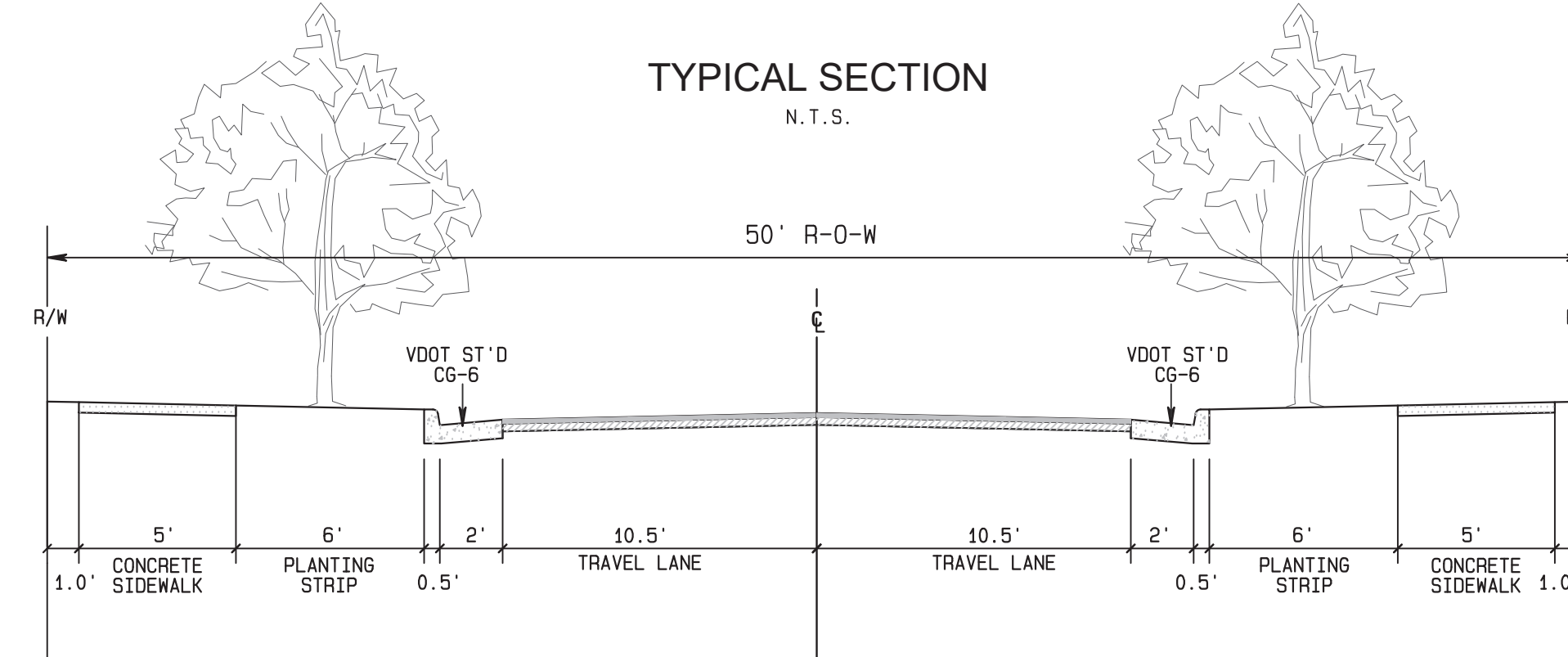
* ALL PARCELS ARE ZONED RA.

SHEET INDEX

- SHEET 1 ----- COVER SHEET
- SHEET 2 ----- EXISTING CONDITIONS
- SHEET 3 ----- GENERAL DEVELOPMENT PLAN
- SHEET 4 ----- CONCEPTUAL LAYOUT PLAN
- SHEET 5 ----- CONCEPTUAL MASS GRADING PLAN



* THE VEHICULAR ACCESS AT RUNNING DEER DRIVE SHALL EMERGENCY ACCESS ONLY UNLESS A FULL VEHICULAR CONNECTION IS REQUIRED BY VDOT. IF THE FULL ACCESS CONNECTION IS INDICATED, THE ROAD CROSS SECTION WILL BE CURB AND GUTTER TO MATCH THE REST OF THE STREETS WITHIN THE DEVELOPMENT.



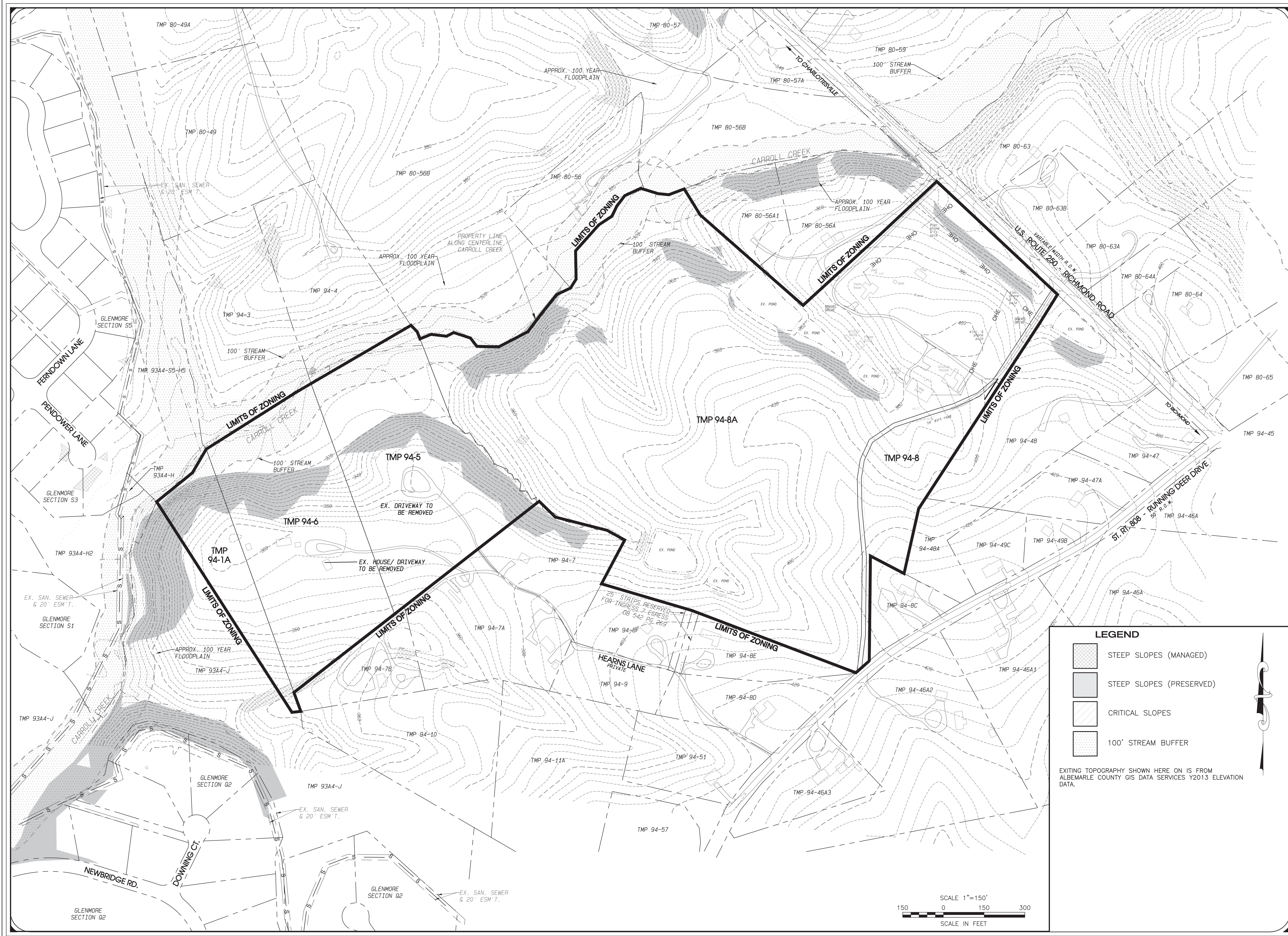
ROUDABUSH, GALE & ASSOC., INC.
A PROFESSIONAL CORPORATION
SERVING VIRGINIA SINCE 1956
PHYSICAL ADDRESS: 485 WHEATLAND TRAIL, SUITE 300-159, CHARLOTTEVILLE, VA 22902
MAILING ADDRESS: 896 SECOND STREET, SUITE 200, CHARLOTTEVILLE, VA 22902
PHONE: 604-977-0265 WWW.ROUDABUSH.COM

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	05-12-21	PER COUNTY COMMENTS			
02	07-21-21	PER COUNTY COMMENTS			
03	08-05-21	ADD OPEN SPACE TO TRAILS			





DESIGNED BY: NMI/AG
DRAWN BY: AG
CHECKED BY: DF

REZONING CONCEPT PLAN
BREEZY HILL
SCOTTSDALE DISTRICT, COUNTY OF ALBEMARLE, VIRGINIA
COVER SHEET

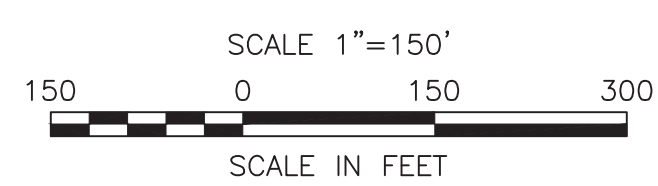
DATE: MARCH 12, 2021
SCALE: AS SHOWN
JOB: 19.0742
FILE: 487



LEGEND

-  STEEP SLOPES (MANAGED)
-  STEEP SLOPES (PRESERVED)
-  CRITICAL SLOPES
-  100' STREAM BUFFER

EXISTING TOPOGRAPHY SHOWN HERE ON IS FROM ALBEMARLE COUNTY GIS DATA SERVICES Y2013 ELEVATION DATA.



ROUDABUSH, GALE & ASSOC., INC.
 A PROFESSIONAL CORPORATION
 SERVING VIRGINIA SINCE 1956

PHYSICAL ADDRESS: 485 WASHINGTON BLVD., SUITE 300-159, CHARLOTTEVILLE, VA 22902
 MAILING ADDRESS: 896 SECOND ST., CHARLOTTEVILLE, VA 22902
 PHONE: 634-977-0265 WWW.ROUDABUSH.COM

REVISIONS

NO.	DATE	DESCRIPTION
01	05-12-21	PER COUNTY COMMENTS
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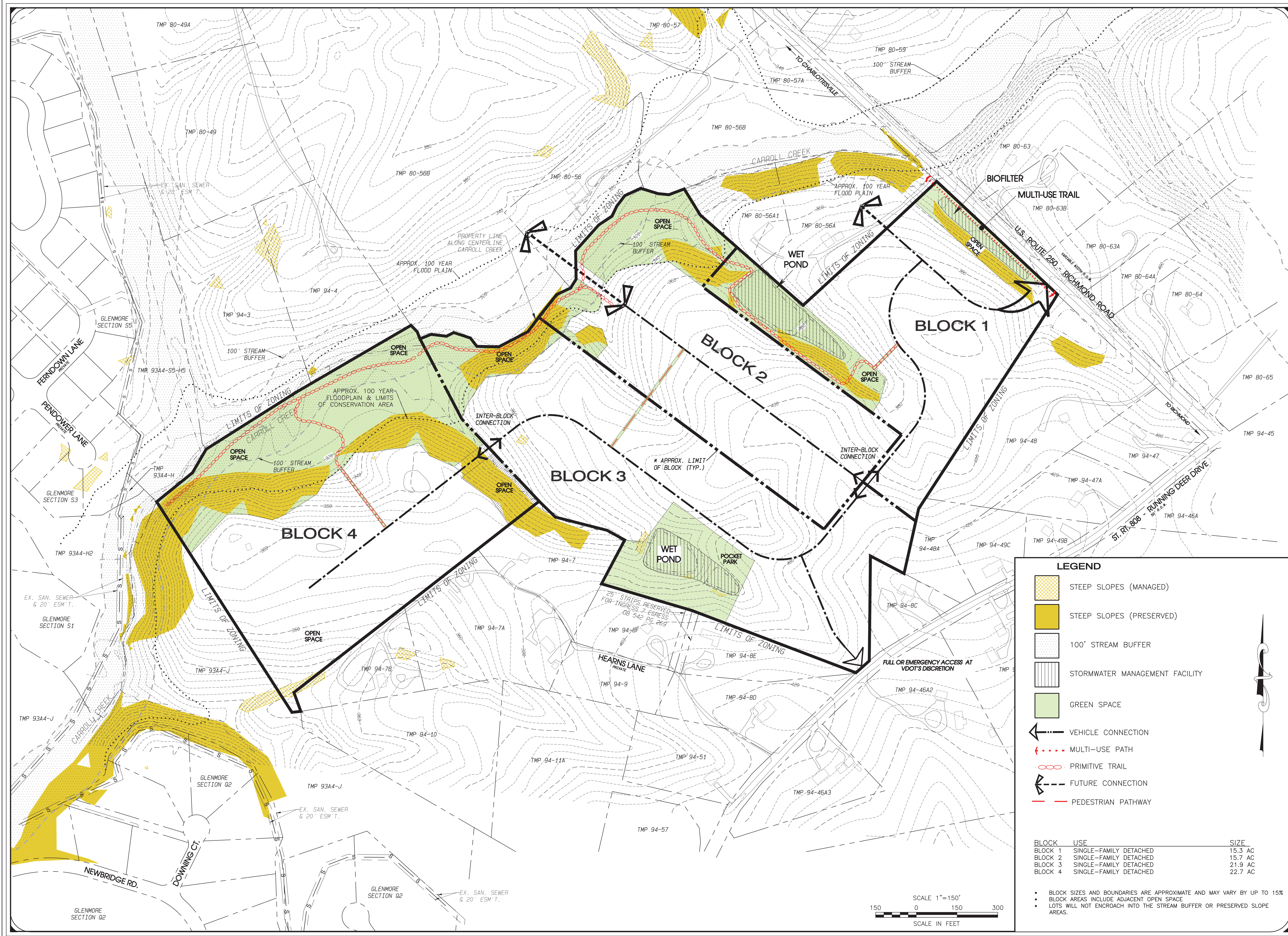
DESIGNED BY: NMI/AG
 DRAWN BY: AG
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**REZONING CONCEPT PLAN
 BREEZY HILL**
 SCOTTSVILLE DISTRICT, COUNTY OF ALBEMARLE, VIRGINIA

EXISTING CONDITIONS

DATE: MARCH 12, 2021
 SCALE: AS SHOWN
 JOB: 19.0742
 FILE: 487

SHEET: **2** OF 5



NO.	DATE	DESCRIPTION
01	05-12-21	PER COUNTY COMMENTS
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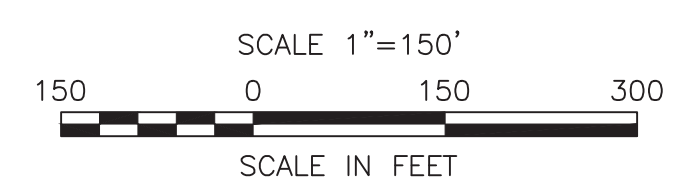
**REZONING CONCEPT PLAN
 BREEZY HILL**
 SCOTTSVILLE DISTRICT, COUNTY OF ALBEMARLE, VIRGINIA
 GENERAL DEVELOPMENT PLAN

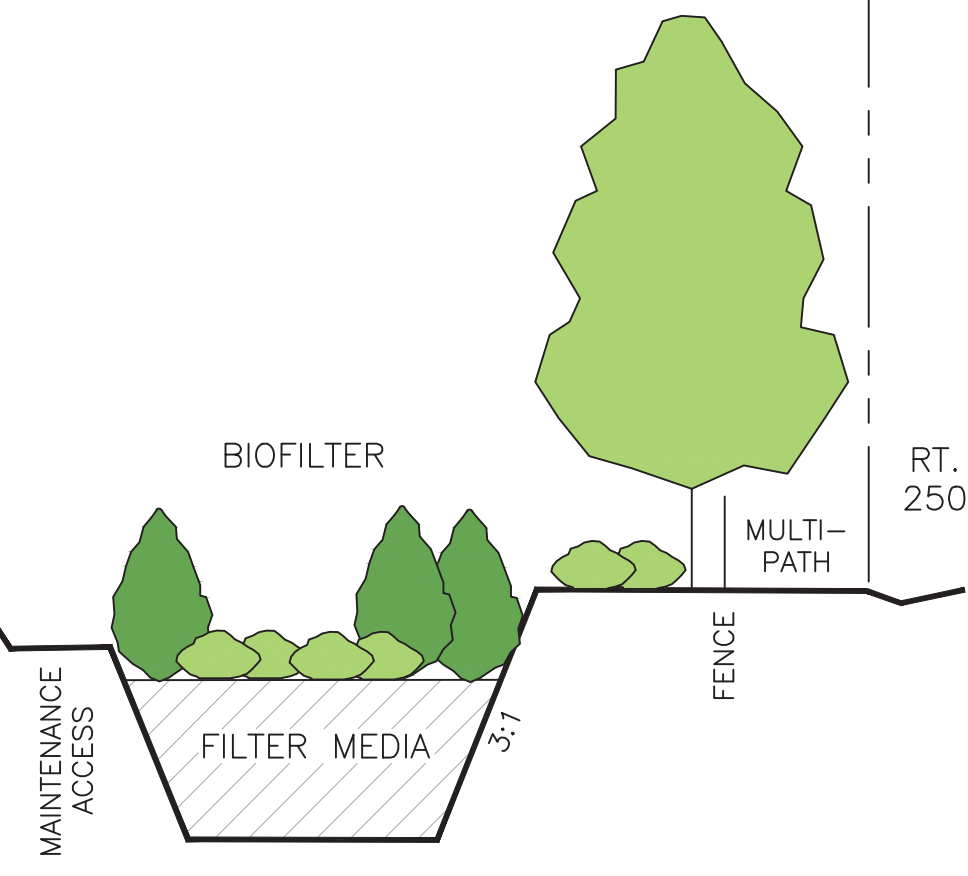
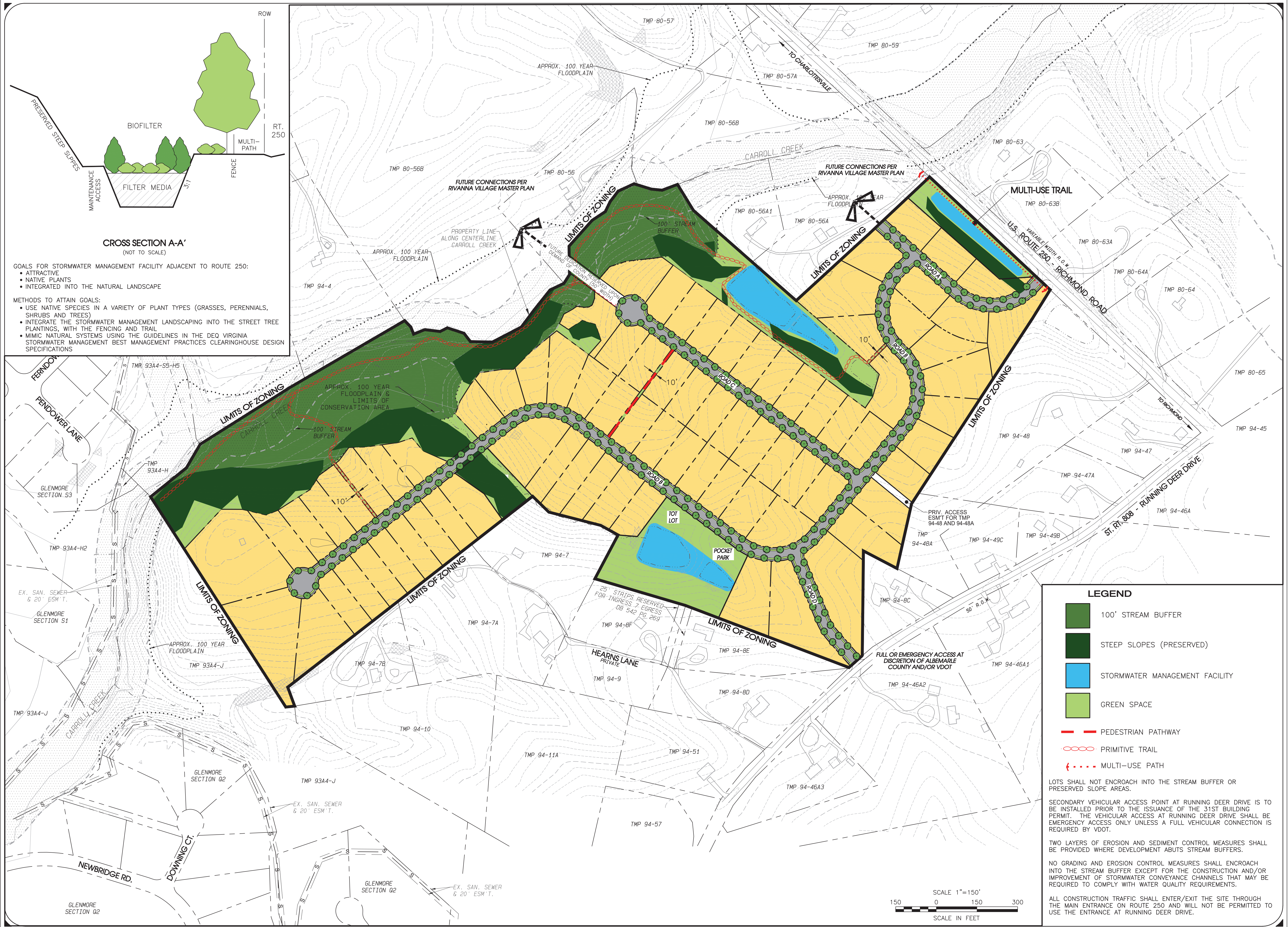
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3 OF 5

- LEGEND**
- STEEP SLOPES (MANAGED)
 - STEEP SLOPES (PRESERVED)
 - 100' STREAM BUFFER
 - STORMWATER MANAGEMENT FACILITY
 - GREEN SPACE
 - VEHICLE CONNECTION
 - MULTI-USE PATH
 - PRIMITIVE TRAIL
 - FUTURE CONNECTION
 - PEDESTRIAN PATHWAY

BLOCK	USE	SIZE
BLOCK 1	SINGLE-FAMILY DETACHED	15.3 AC
BLOCK 2	SINGLE-FAMILY DETACHED	15.7 AC
BLOCK 3	SINGLE-FAMILY DETACHED	21.9 AC
BLOCK 4	SINGLE-FAMILY DETACHED	22.7 AC

- BLOCK SIZES AND BOUNDARIES ARE APPROXIMATE AND MAY VARY BY UP TO 15%
- BLOCK AREAS INCLUDE ADJACENT OPEN SPACE
- LOTS WILL NOT ENCROACH INTO THE STREAM BUFFER OR PRESERVED SLOPE AREAS.





CROSS SECTION A-A'
(NOT TO SCALE)

- GOALS FOR STORMWATER MANAGEMENT FACILITY ADJACENT TO ROUTE 250:
- ATTRACTIVE
 - NATIVE PLANTS
 - INTEGRATED INTO THE NATURAL LANDSCAPE
- METHODS TO ATTAIN GOALS:
- USE NATIVE SPECIES IN A VARIETY OF PLANT TYPES (GRASSES, PERENNIALS, SHRUBS AND TREES)
 - INTEGRATE THE STORMWATER MANAGEMENT LANDSCAPING INTO THE STREET TREE PLANTINGS, WITH THE FENCING AND TRAIL
 - MIMIC NATURAL SYSTEMS USING THE GUIDELINES IN THE DEQ VIRGINIA STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES CLEARINGHOUSE DESIGN SPECIFICATIONS

- LEGEND**
- 100' STREAM BUFFER
 - STEEP SLOPES (PRESERVED)
 - STORMWATER MANAGEMENT FACILITY
 - GREEN SPACE
 - PEDESTRIAN PATHWAY
 - PRIMITIVE TRAIL
 - MULTI-USE PATH

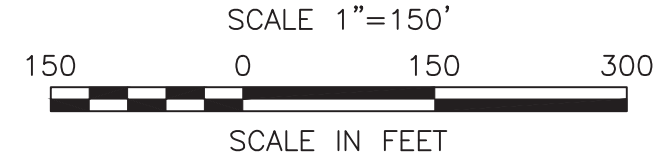
LOTS SHALL NOT ENCROACH INTO THE STREAM BUFFER OR PRESERVED SLOPE AREAS.

SECONDARY VEHICULAR ACCESS POINT AT RUNNING DEER DRIVE IS TO BE INSTALLED PRIOR TO THE ISSUANCE OF THE 31ST BUILDING PERMIT. THE VEHICULAR ACCESS AT RUNNING DEER DRIVE SHALL BE EMERGENCY ACCESS ONLY UNLESS A FULL VEHICULAR CONNECTION IS REQUIRED BY VDOT.

TWO LAYERS OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED WHERE DEVELOPMENT ABUTS STREAM BUFFERS.

NO GRADING AND EROSION CONTROL MEASURES SHALL ENCROACH INTO THE STREAM BUFFER EXCEPT FOR THE CONSTRUCTION AND/OR IMPROVEMENT OF STORMWATER CONVEYANCE CHANNELS THAT MAY BE REQUIRED TO COMPLY WITH WATER QUALITY REQUIREMENTS.

ALL CONSTRUCTION TRAFFIC SHALL ENTER/EXIT THE SITE THROUGH THE MAIN ENTRANCE ON ROUTE 250 AND WILL NOT BE PERMITTED TO USE THE ENTRANCE AT RUNNING DEER DRIVE.

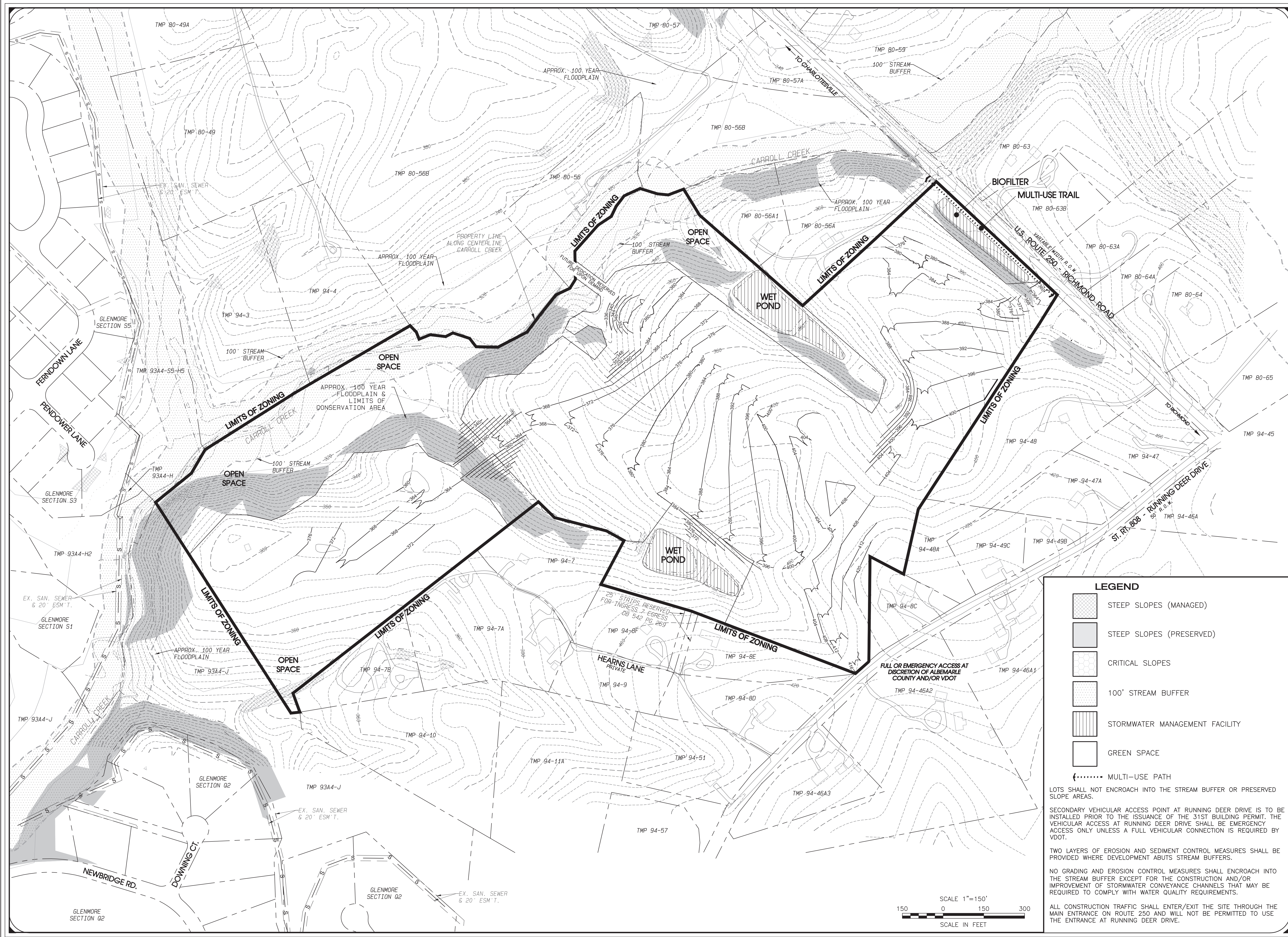


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01	05-12-21	PER COUNTY COMMENTS			
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03	08-05-21	ADD OPEN SPACE TO TRAILS			

DESIGNED BY: NMI/AG
DRAWN BY: AG
CHECKED BY: DF

**REZONING CONCEPT PLAN
BREEZY HILL**
SCOTTSDALE DISTRICT, COUNTY OF ALBEMARLE, VIRGINIA
CONCEPTUAL LAYOUT PLAN w/o KIMCO PROPERTY

\\RGATMPROJ487-BREEZY HILL\2018 REZONING PLAN\Layout-Kimco.DWG



LEGEND

- STEEP SLOPES (MANAGED)
- STEEP SLOPES (PRESERVED)
- CRITICAL SLOPES
- 100' STREAM BUFFER
- STORMWATER MANAGEMENT FACILITY
- GREEN SPACE
- MULTI-USE PATH

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ALL CONSTRUCTION TRAFFIC SHALL ENTER/EXIT THE SITE THROUGH THE MAIN ENTRANCE ON ROUTE 250 AND WILL NOT BE PERMITTED TO USE THE ENTRANCE AT RUNNING DEER DRIVE.

SCALE 1"=150'
 150 0 150 300
 SCALE IN FEET

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**REZONING CONCEPT PLAN
 BREEZY HILL**
 SCOTTSVILLE DISTRICT, COUNTY OF ALBEMARLE, VIRGINIA
 CONCEPTUAL MASS GRADING PLAN

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