



SITE NAME: BATESVILLE

BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

SITE INFORMATION

PROJECT DESCRIPTION:	INSTALLATION OF TELECOMMUNICATIONS TOWER WITH ANTENNAS AND ASSOCIATED EQUIPMENT.
SITE ADDRESS:	BURCHS CREEK RD BATESVILLE, VA 22924
LATITUDE (NAD 83):	37° 59' 58.4690"
LONGITUDE (NAD 83):	-78° 43' 09.3431"
GROUND ELEVATION:	732.5' (A.M.S.L.)
JURISDICTION:	ALBEMARLE COUNTY
ZONING:	RA - RURAL AREAS
PARCEL ID:	07200-00-00-03200
PARCEL AREA:	1,046.98 ACRES
TOTAL AREA OF DISTURBANCE:	4,440 SQ. FT.
PARCEL OWNER:	MILLER SCHOOL OF ALBERMARLE 1000 SAMUEL MILLER LOOP CHARLOTTESVILLE, VA 22903
TOWER OWNER:	VERIZON WIRELESS 1831 RADY COURT RICHMOND, VA 23335
STRUCTURE TYPE:	MONOPOLE
OVERALL TOWER HEIGHT:	89.5'
HEIGHT OF STRUCTURE:	87.5'
RAD CENTER:	83.5'
TOTAL LEASE AREA:	2,500 SQ. FT.
POWER PROVIDER:	DOMINION VIRGINIA POWER (888) 837-4966
TELCO PROVIDER:	VERIZON (800) 483-3000

EMERGENCY INFORMATION:

ALBERMARLE COUNTY FIRE & RESCUE:	(434) 977-9041
ALBERMARLE COUNTY SHERIFF'S OFFICE:	(434) 977-9041

PROJECT TEAM

CONSTRUCTION MANAGER:	TCM MIKE REYNOLDS (434) 841-0752
PROJECT MANAGEMENT FIRM:	GDN NATHAN HOLLAND (757) 8420
ENGINEERING FIRM:	NB+C ENGINEERING SERVICES, LLC. 120 EASTSHORE DRIVE SUITE 300 GLEN ALLEN, VA 23059 (804) 548-4079

VICINITY MAP



DIRECTIONS

FROM: 2501 GOODES BRIDGE ROAD. EXIT THE GOODES BRIDGE MSC PARKING LOT AND TURN RIGHT ONTO GOODES BRIDGE ROAD. TURN RIGHT ONTO US-360 E. USE THE RIGHT LANE TO MERGE ONTO VA-150 N/CHIPPENHAM PKWY VIA THE RAMP TO I-95 N/POWHITE PKWY. MERGE ONTO VA-150 N/CHIPPENHAM PKWY. USE THE RIGHT 2 LANES TO MERGE ONTO VA-76 N/POWHITE PKWY. KEEP LEFT AT THE FORK TO CONTINUE ON VA-76 N. FOLLOW SIGNS FOR INTERSTATE 195 N/INTERSTATE 64 W/INTERSTATE. 95 N/CHARLOTTESVILLE/WASHINGTON. CONTINUE ONTO I-195 N. USE THE LEFT 2 LANES TO TAKE THE I-64 W EXIT TOWARD CHARLOTTESVILLE. MERGE ONTO I-64. TAKE EXIT 167 FOR VA-617 TOWARD OILVILLE/GOOCHLAND. TURN RIGHT ONTO STATE RTE 617/OILVILLE RD. TURN LEFT ONTO STATE RTE 702/PONY FARM RD. TURN LEFT AT THE ACCESS ROAD LABELED 1975 PONY FARM ROAD. AFTER APPROXIMATELY 0.5 MILES THERE WILL BE A T INTERSECTION. CONTINUE STRAIGHT ON THE ACCESS ROAD (DO NOT TURN RIGHT AT THE INTERSECTION). CONTINUE APPROXIMATELY 0.65 MILES ALONG THE ACCESS ROAD TO THE SITE.

CODE COMPLIANCE

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.
- 2015 INTERNATIONAL BUILDING CODE
  - 2014 NATIONAL ELECTRICAL CODE
  - 2015 NFPA 101, LIFE SAFETY CODE
  - 2015 IFC
  - AMERICAN CONCRETE INSTITUTE
  - AMERICAN INSTITUTE OF STEEL CONSTRUCTION
  - MANUAL OF STEEL CONSTRUCTION 14TH EDITION
  - 2015 VIRGINIA CONSTRUCTION CODE
  - ANSI/TIA-222-G
  - TIA 607
  - INSTITUTE FOR ELECTRICAL & ELECTRONICS ENGINEER 81
  - IEEE C2 NATIONAL ELECTRIC SAFETY CODE LATEST EDITION
  - TELECORDIA GR-1275
  - ANSI/T 311

DRAWING INDEX

T-1	TITLE SHEET
EE-1	EASEMENT EXHIBIT
EE-2	EASEMENT EXHIBIT
EE-3	EASEMENT EXHIBIT
Z-1	SITE PLAN
Z-2	ADJACENT PROPERTIES
Z-3	TREE INVENTORY
Z-4	ENLARGED SITE PLAN
Z-5	TOPOGRAPHICAL FEATURES MAP
C-1	COMPOUND PLAN
C-2	TOWER ELEVATION & NOTES
C-3	MOUNT DETAILS
S-1	CONSTRUCTION DETAILS
S-2	EQUIPMENT MOUNTING DETAILS
ES-1	EROSION & SEDIMENT CONTROL PLAN
ES-2	EROSION & SEDIMENT CONTROL NOTES
ES-3	EROSION & SEDIMENT CONTROL DETAILS

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE AT 24"X36". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICE TO PREVENT STORM WATER POLLUTION DURING CONSTRUCTION.

APPROVAL BLOCK

ENGINEER

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

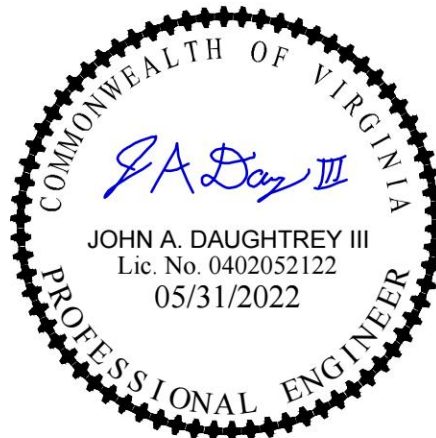
SHEET NUMBER

1831 RADY COURT  
RICHMOND, VA 23222

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

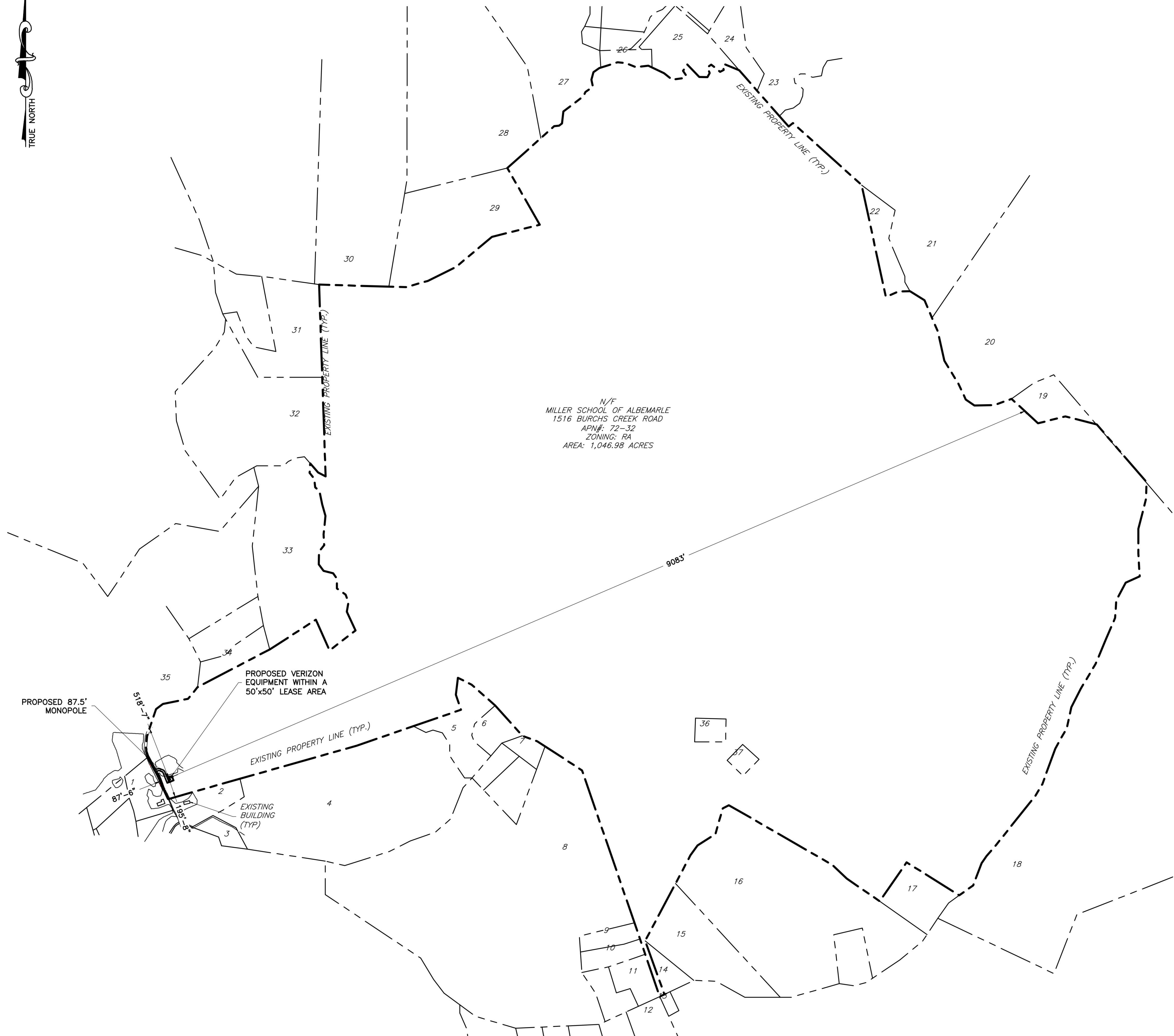


JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

TITLE SHEET

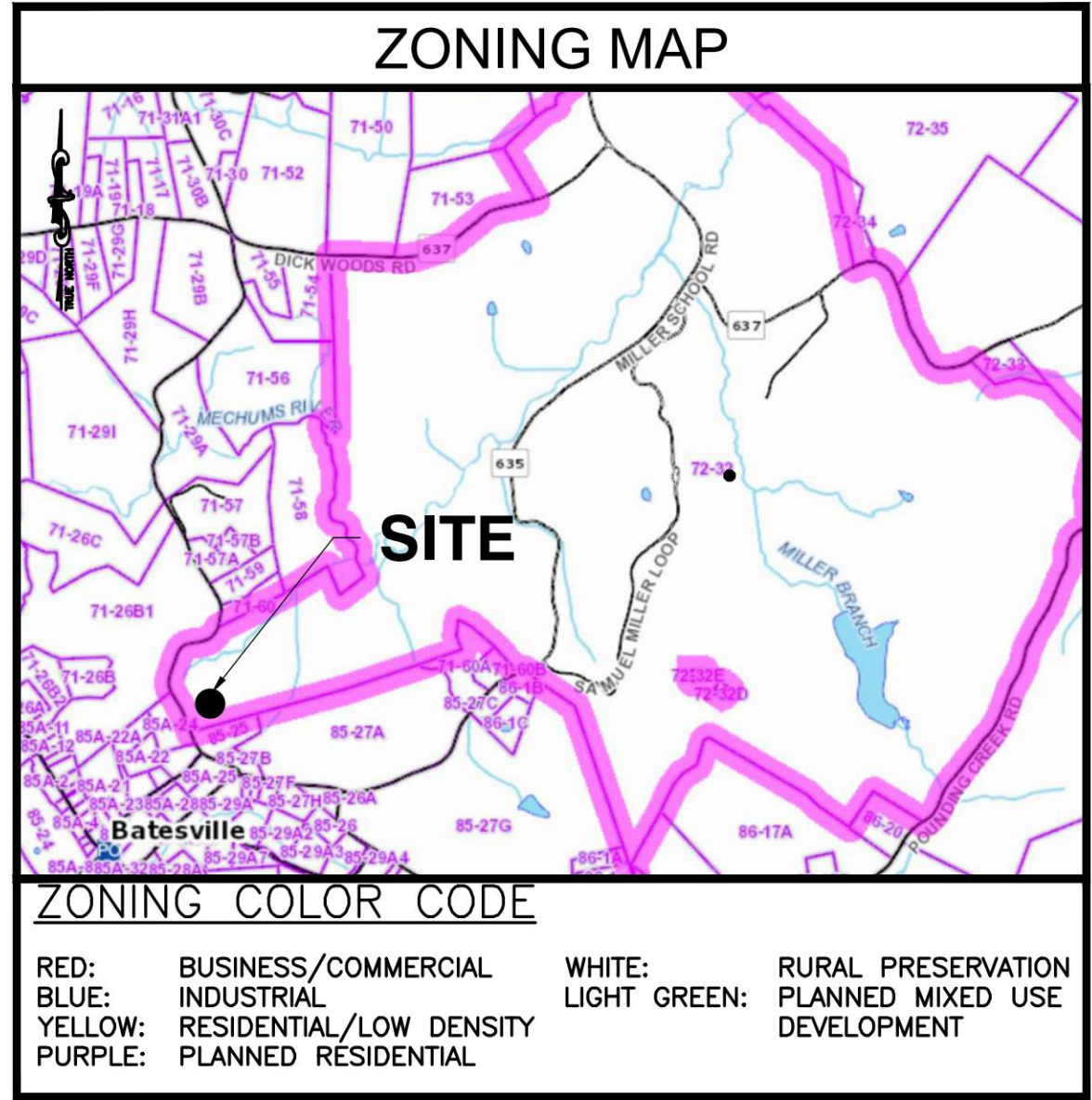
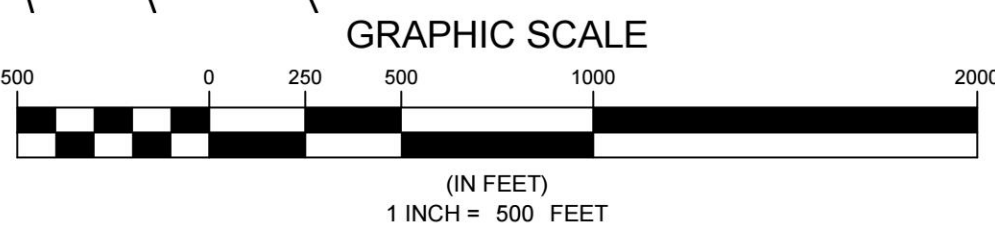
T-1





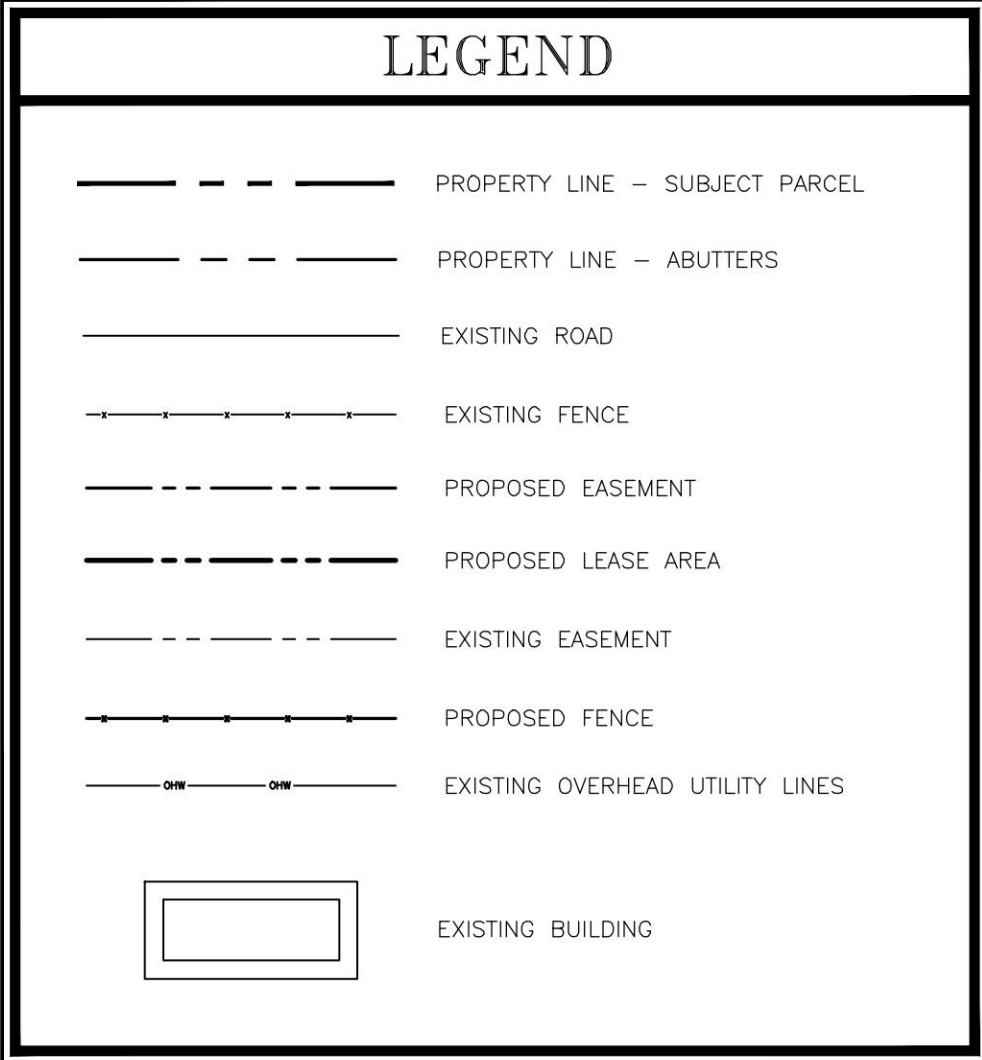
N/F  
MILLER SCHOOL OF ALBEMARLE  
1516 BURCHS CREEK ROAD  
APN# 72-32  
ZONING: RA  
AREA: 1,046.98 ACRES

1 SITE PLAN  
Z-1  
SCALE: 1" = 500'



### GENERAL NOTES

1. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
2. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
3. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
4. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
5. ELECTION DISTRICT: MATTAPONI DISTRICT.



ZONING INFORMATION	
JURISDICTION: ALBEMARLE COUNTY	
ZONING: RA	
DIMENSION	PROPOSED ±
FRONT YARD SETBACK:	85'-6"±
SIDE YARD SETBACK:	195'-8"±
REAR YARD SETBACK:	9083'-0"±
LOT AREA: 1,046.98 ± ACRES	
(ALL MEASUREMENTS ARE IN FEET ± UNLESS OTHERWISE NOTED)	



ENGINEER																																					
APPLICANT																																					
SITE INFORMATION	BATESVILLE VERIZON NEW BUILD 1516 BURCHS CREEK RD BATESVILLE, VA 22924 ALBEMARLE COUNTY																																				
DESIGN RECORD	<table><tr><th colspan="4">REVISIONS</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td>2</td><td>05/31/22</td><td>REVISED</td><td>KLB</td></tr><tr><td>1</td><td>11/01/21</td><td>FINALS</td><td>KLB</td></tr><tr><td>0</td><td>10/18/21</td><td>PRELIMINARY ZDs</td><td>KLB</td></tr><tr><td>REV</td><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr></table>	REVISIONS																				2	05/31/22	REVISED	KLB	1	11/01/21	FINALS	KLB	0	10/18/21	PRELIMINARY ZDs	KLB	REV	DATE	DESCRIPTION	BY
REVISIONS																																					
2	05/31/22	REVISED	KLB																																		
1	11/01/21	FINALS	KLB																																		
0	10/18/21	PRELIMINARY ZDs	KLB																																		
REV	DATE	DESCRIPTION	BY																																		
PROFESSIONAL STAMP																																					
ENGINEER	JOHN A. DAUGHTREY III, P.E. VA PROFESSIONAL ENGINEER LIC. #052122																																				
SHEET TITLE	SITE PLAN																																				
SHEET NUMBER	Z-1																																				



ADJACENT PROPERTIES

1	OWNER: WOODBURY, JEFFEREY T OR RYAN P ADDRESS: 1524 BURCHS CREEK ROAD APN: 85A-24 ZONING: RA AREA: 3.32	22	OWNER: CLAYTON, CLARENCE W. JR. & BETTY J., TRS; CLARENCE & BETTY CLAYTON REV LIV TR. ADDRESS: 5656 DICK WOODS ROAD APN: 72-34 ZONING: RA AREA: 6.02
2	OWNER: GARY, EMILY G. ADDRESS: 1519 BURCHS CREEK ROAD APN: 85-25 ZONING: RA AREA: 2.49	23	OWNER: FARINA, LOUIS D. OR CAROLYN D. ADDRESS: 5758 LAYLA LANE APN: 72-27A1 ZONING: RA AREA: 16.13
3	OWNER: WILLIAM, MATTHEW HILDERBRAND ADDRESS: 1593 BURCHS CREEK ROAD APN: 85-27B ZONING: RA AREA: 2.0	24	OWNER: FARINA, LOUIS D. OR CAROLYN D. ADDRESS: N/A APN: 72-27 ZONING: RA AREA: 5.0
4	OWNER: R A YANCEY LUMBER CORP ADDRESS: N/A APN: 85-27A ZONING: RA AREA: 51.50	25	OWNER: WADE, ELEANORE T. ADDRESS: N/A APN: 72-31 ZONING: RA AREA: 7.29
5	OWNER: DONNA D CONLEY ADDRESS: 1638 MILLER SCHOOL ROAD APN: 71-60A ZONING: RA AREA: 6.74	26	OWNER: WADE, ELEANORE T. ADDRESS: N/A APN: 72-29 ZONING: RA AREA: 1.33
6	OWNER: KRAG, JAMES L OR LINDA B ADDRESS: 1618 MILLER SCHOOL ROAD APN: 71-60B ZONING: RA AREA: 2.68	27	OWNER: CROZET SPORTMANS CLUB ADDRESS: 894 MILLER SCHOOL ROAD APN: 72-10A ZONING: RA AREA: 58.43
7	OWNER: DOUGHERTY, PATRICIA L ADDRESS: 1653 MILLER SCHOOL ROAD APN: 86-1B ZONING: RA AREA: 2.0	28	OWNER: 71-49 ADDRESS: 1111 MILLER SCHOOL ROAD APN: 71-49 ZONING: RA AREA: 56.50
8	OWNER: CUNNINGHAM, PATTERSON, TRUSTEE OF THE PATTERSON CUNNINGHAM TRUST ADDRESS: 1293 POUNDING CREEK ROAD APN: 85-27G ZONING: RA AREA: 104.71	29	OWNER: DOLLINS, ROBERT ANDREW ADDRESS: 5944 DICK WOODS ROAD APN: 71-53 ZONING: RA AREA: 11.78
9	OWNER: BARNETT, RUBY L. ADDRESS: 1247 POUNDING CREEK ROAD APN: 86-10A ZONING: RA AREA: 2.08	30	OWNER: DOLLINS, ROBERT ANDREW ADDRESS: N/A APN: 71-50 ZONING: RA AREA: 47.0
10	OWNER: BREEDEN, LINDA MARIE OR RUBY L. BARNETT ADDRESS: 1249 POUNDING CREEK ROAD APN: 86-10 ZONING: RA AREA: 2.50	31	OWNER: BALLARD, DANIEL M. OR MARGARET H. ADDRESS: 1075 BURCHS CREEK ROAD APN: 71-54 ZONING: RA AREA: 12.23
11	OWNER: YANCY, RICHARD A JR. ; E. D. B. YANCY & RAY II LLC ADDRESS: N/A APN: 86-02 ZONING: RA AREA: 3.56	32	OWNER: KUIKEN, CHRISTINE AUSTIN ADDRESS: 1079 BURCHS CREEK ROAD APN: 71-56 ZONING: RA AREA: 32.30
12	OWNER: BLUEGILL HOLDINGS, LLC ADDRESS: N/A APN: 86-04F ZONING: RA AREA: 23.30	33	OWNER: R.A. YANCEY LUMBER CORP. ADDRESS: N/A APN: 71-58 ZONING: RA AREA: 24.75
13	OWNER: R. A. YANCY LUMBER CORP ADDRESS: 1256 POUNDING CREEK ROAD APN: 86-18 ZONING: RA AREA: 0.50	34	OWNER: DOIG, POLLY DAVIS ADDRESS: 1429 BURCHS CREEK ROAD APN: 71-60 ZONING: RA AREA: 3.24
14	OWNER: LEHIGH, MATTHEW SCOTT ADDRESS: 1245 POUNDING CREEK ROAD APN: 86-19 ZONING: RA AREA: 2.12	35	OWNER: BROWN, W. L. LYONS III, LIFE ESTATE & SUSANNA S. BROWN, TRUSTEE ADDRESS: 1500 BURCHS CREEK ROAD APN: 71-26B1 ZONING: RA AREA: 70.66
15	OWNER: ISRAEL'S GAP COMMUNITY FUND LLC & STEVEM MORALES ADDRESS: N/A APN: 86-17 ZONING: RA AREA: 427.63	36	OWNER: MILLER SCHOOL OF ALBERMARLE THE ADDRESS: N/A APN: 72-32E ZONING: RA AREA: 0.23
16	OWNER: YANCY, R. A. JR. ADDRESS: N/A APN: 86-17A ZONING: RA AREA: 47.0	37	OWNER: MILLER SCHOOL OF ALBERMARLE THE ADDRESS: N/A APN: 72-32D ZONING: RA AREA: 0.23
17	OWNER: MILLER SCHOOL OF ALBERMARLE, THE ADDRESS: N/A APN: 86-20 ZONING: RA AREA: 7.0		
18	OWNER: H & S PROPERTIES LLC ADDRESS: 976 POUNDING CREEK ROAD APN: 72-32A ZONING: RA AREA: 184.2		
19	OWNER: CLARK, STEVEN E. ADDRESS: 5511 DICK WOODS ROAD APN: 72-33 ZONING: RA AREA: 3.24		
20	OWNER: H & S PROPERTIES, LLC ADDRESS: 5390 DICK WOODS ROAD APN: 72-54 ZONING: RA AREA: 265.75		
21	OWNER: TAYLOR, EDWARD F JR. OR PHYLLIS ADDRESS: 5648 DICK WOODS ROAD APN: 72-35 ZONING: RA AREA: 95.48		

ENGINEER

NB+C<sup>TM</sup>

TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

APPLICANT

verizon

1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

DESIGN RECORD

REVISIONS			
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB
REV	DATE	DESCRIPTION	BY

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

SHEET TITLE

ADJACENT  
PROPERTIES

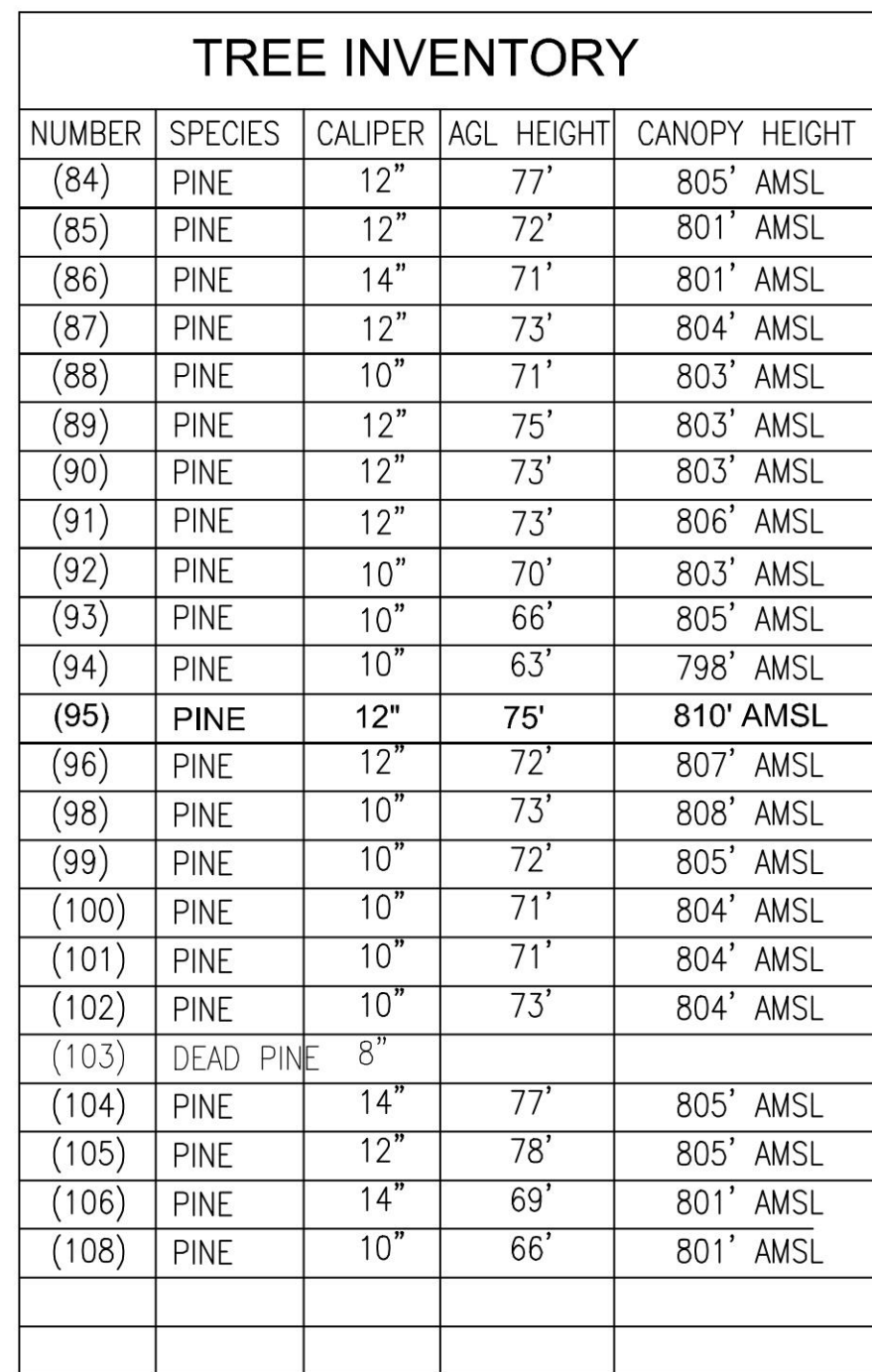
SHEET NUMBER

Z-2

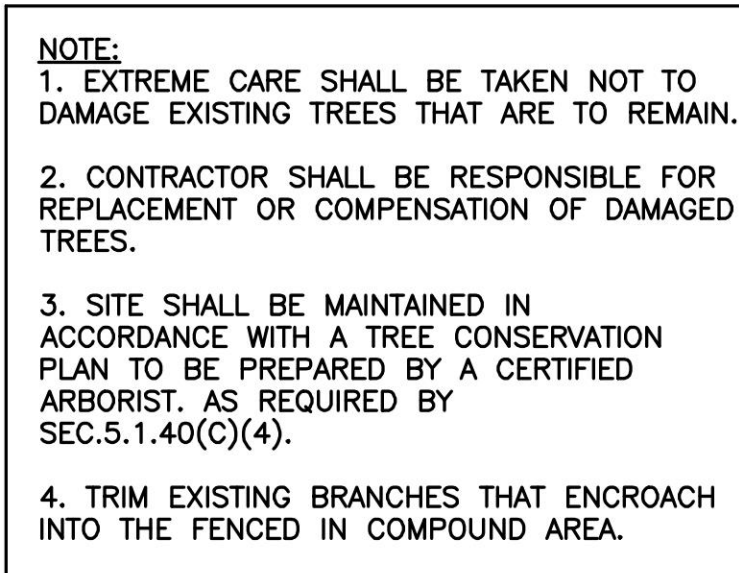


Know what's below.  
Call before you dig.










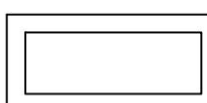




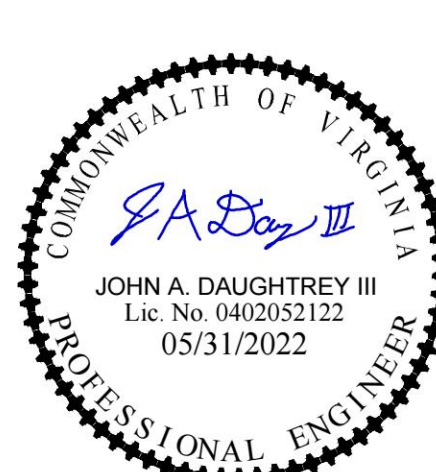


TREES TO BE REMOVED				
NUMBER	SPECIES	CALIPER	AGL HEIGHT	CANOPY HEIGHT
(86)	PINE	14"	66'	796' AMSL
(87)	PINE	12"	69'	800' AMSL
(88)	PINE	10"	66'	798' AMSL
(90)	PINE	12"	69'	799' AMSL
(91)	PINE	12"	68'	801' AMSL
(94)	PINE	8"	61'	796' AMSL
(96)	PINE	12"	65'	800' AMSL



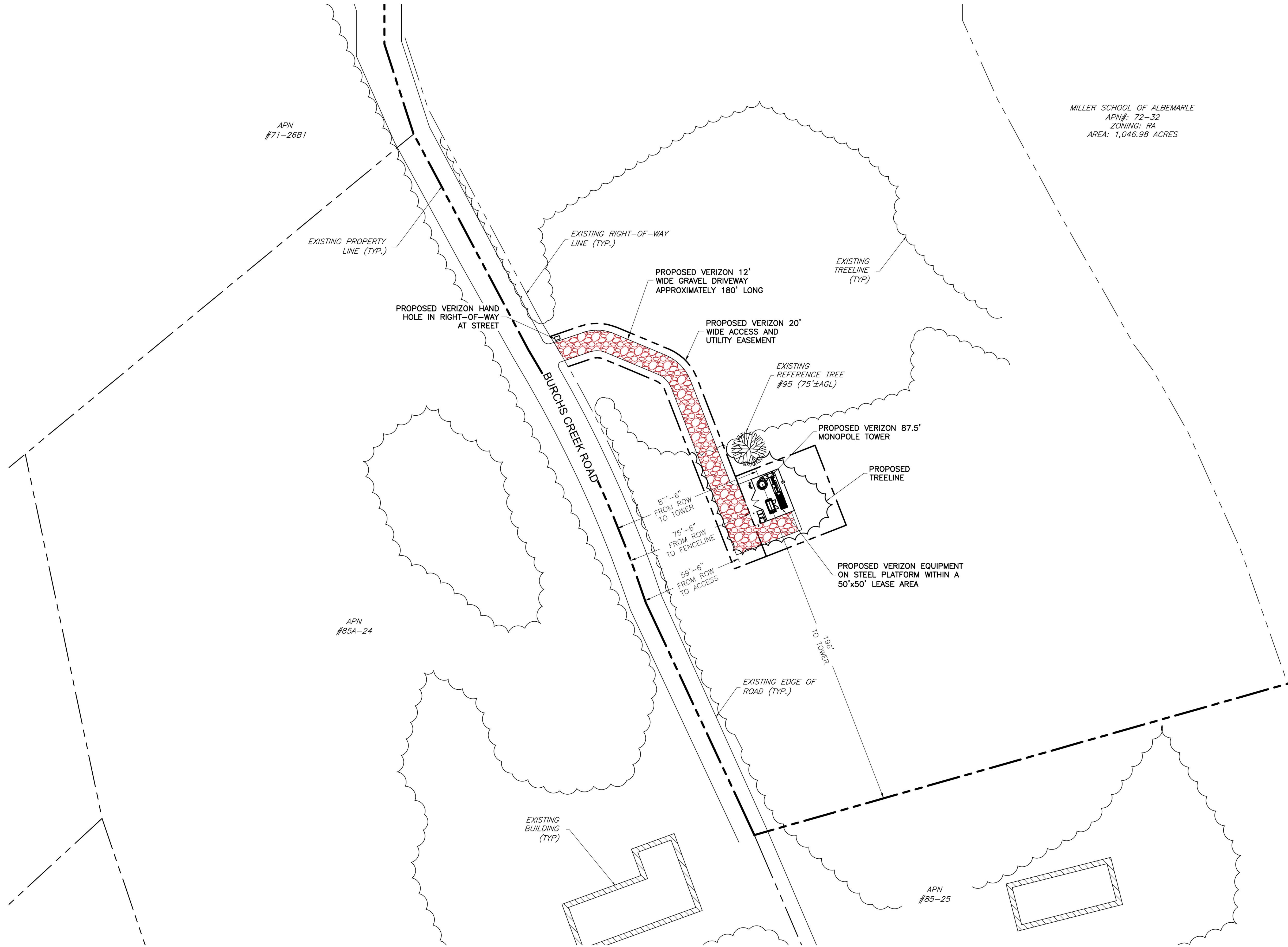
# LEGEND

	PROPERTY LINE - SUBJECT PARCEL
	PROPERTY LINE - ABUTTERS
	EXISTING ROAD
	EXISTING FENCE
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	EXISTING EASEMENT
	PROPOSED FENCE
	EXISTING OVERHEAD UTILITY LINES
	EXISTING BUILDING

ENGINEER	<div><p><b>TOTALLY COMMITTED.</b></p><p><b>NB+C ENGINEERING SERVICES, LLC.</b> 120 EASTSHORE DRIVE, SUITE 300 GLEN ALLEN, VA 23059 804-548-4070</p></div>																																				
APPLICANT	<div><p>1831 RADY COURT RICHMOND, VA 23222</p></div>																																				
SITE INFORMATION	<div><p>BATESVILLE VERIZON NEW BUILD 1516 BURCHS CREEK RD BATESVILLE, VA 22924 ALBEMARLE COUNTY</p></div>																																				
DESIGN RECORD	<div><table><tr><th colspan="4">REVISIONS</th></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>2</td><td>05/31/22</td><td>REVISED</td><td>KLB</td></tr><tr><td>1</td><td>11/01/21</td><td>FINALS</td><td>KLB</td></tr><tr><td>0</td><td>10/18/21</td><td>PRELIMINARY ZDs</td><td>KLB</td></tr><tr><td>REV</td><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr></table></div>	REVISIONS																				2	05/31/22	REVISED	KLB	1	11/01/21	FINALS	KLB	0	10/18/21	PRELIMINARY ZDs	KLB	REV	DATE	DESCRIPTION	BY
REVISIONS																																					
2	05/31/22	REVISED	KLB																																		
1	11/01/21	FINALS	KLB																																		
0	10/18/21	PRELIMINARY ZDs	KLB																																		
REV	DATE	DESCRIPTION	BY																																		
PROFESSIONAL STAMP	<div></div>																																				
ENGINEER	<div><p>JOHN A. DAUGHTREY III, P.E. VA PROFESSIONAL ENGINEER LIC. #052122</p></div>																																				
SHEET TITLE	<div><p><b>TREE INVENTORY</b></p></div>																																				
SHEET NUMBER	<div><p><b>Z-3</b></p></div>																																				

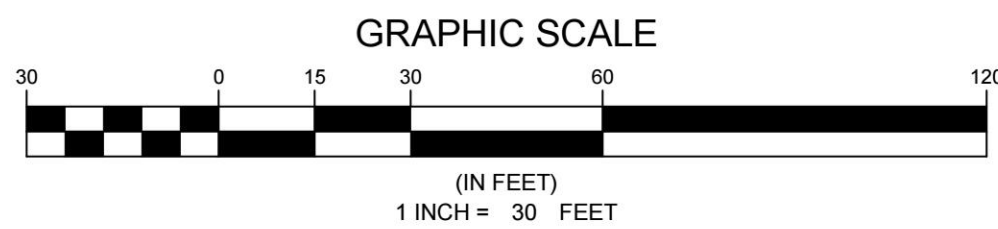






1  
Z-4

**ENLARGED SITE PLAN**  
SCALE: 1" = 30'



ENGINEER

**NB+C**  
TOTALLY COMMITTED.

**NB+C ENGINEERING SERVICES, LLC.**  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 548-4070

APPLICANT

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

DESIGN RECORD

REVISIONS			
REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

SHEET TITLE

**ENLARGED  
SITE PLAN**

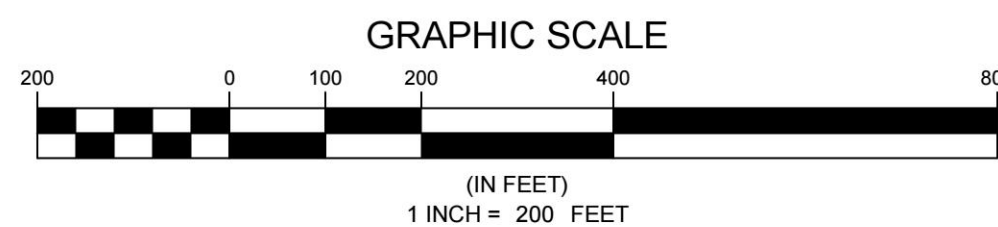
SHEET NUMBER

**Z-4**





1 SITE PLAN  
Z-5  
SCALE: 1" = 200'



ENGINEER

**NB+C**  
TOTALLY COMMITTED.  
NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4073

APPLICANT

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

DESIGN RECORD

REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

SHEET TITLE

TOPOGRAPHICAL  
FEATURES  
MAP

SHEET NUMBER

Z-5





PROPOSED VERIZON 20' WIDE  
ACCESS AND UTILITY EASEMENT

PROPOSED VERIZON 12'  
WIDE GRAVEL DRIVEWAY

25'-0"±  
TO DRIP LINE OF REF TREE

EXISTING  
REFERENCE TREE  
#95 (75'±AGL)

EXISTING TREELINE

PROPOSED TREELINE

PROPOSED VERIZON  
87.5' MONOPOLE TOWER

3'  
TO CONCRETE

5'-0"

5'  
TO CENTERLINE OF H-FRAME

PROPOSED VERIZON 3'  
H-FRAME FOR 200A  
UTILITY METER &  
DISCONNECT

PROPOSED VERIZON ICE  
BRIDGE ABOVE H-FRAME  
EQUIPMENT

PROPOSED VERIZON 12'  
WIDE WOODEN DOUBLE  
SWING ACCESS GATE

PROPOSED VERIZON  
WOODEN COMPOUND  
FENCE

PROPOSED VERIZON  
EQUIPMENT CABINET

PROPOSED VERIZON 4'X8'  
CONCRETE PAD FOR  
GENERATOR

PROPOSED 17'X30"  
FIBER HAND HOLE  
LOCATED NEXT TO THE  
MESA CABINET

PROPOSED BOLLARD  
(TYP. OF 2)

PROPOSED VERIZON  
FIBER CABINET

8'  
TO COMPOUND

17'  
COMPOUND

PROPOSED VERIZON  
4'X10' CONCRETE PAD  
FOR EQUIPMENT

26'  
COMPOUND

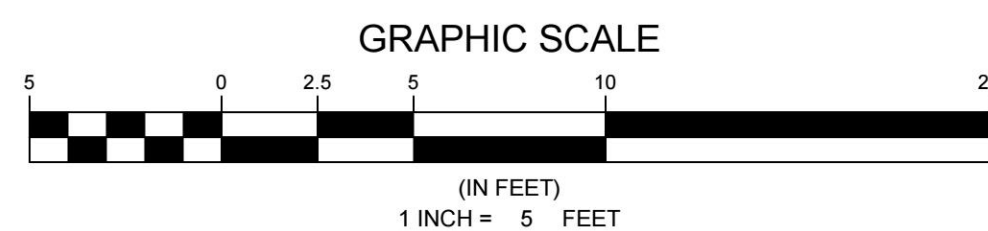
50'  
LEASE AREA

THE EXISTING UTILITY INFORMATION SHOWN REPRESENTS  
THE BEST DATA AVAILABLE FROM EXISTING DOCUMENTATION  
AND FIELD EVIDENCE. ALL LOCATIONS SHOULD BE  
CONSIDERED APPROXIMATE, AND A FIELD INVESTIGATION  
MUST BE PERFORMED IN THE VICINITY OF ANY  
CONSTRUCTION ACTIVITIES. NOTE THAT THESE PLANS MAY  
NOT SHOW ALL UTILITIES THAT ARE PRESENT AT THE SITE.



Know what's below.  
Call before you dig.

1  
C-1  
COMPOUND PLAN  
SCALE: 1" = 5'-0"



ENGINEER

**NB+C**  
TOTALLY COMMITTED.  
NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4075

APPLICANT

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

DESIGN RECORD

#### REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

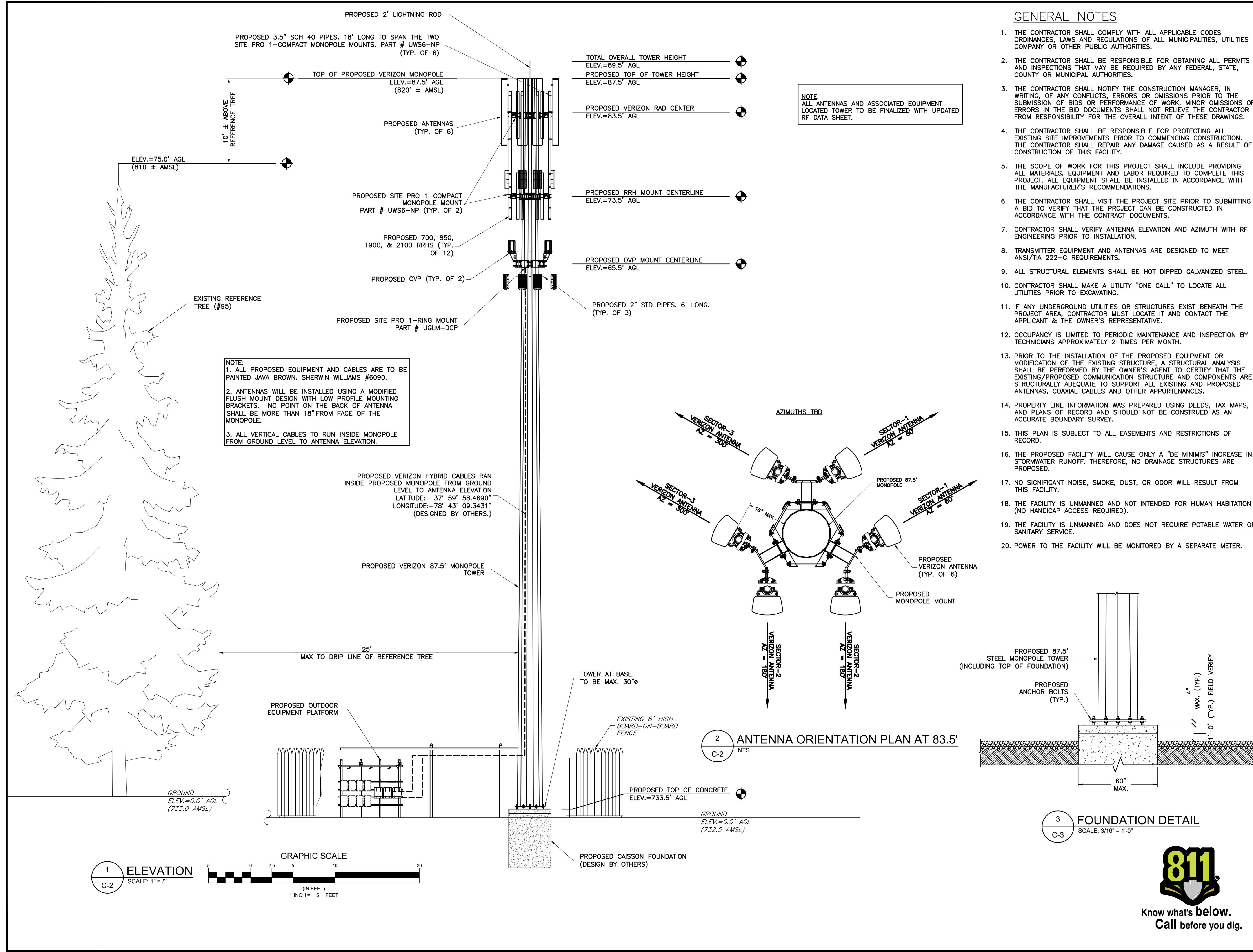
SHEET TITLE

COMPOUND PLAN

SHEET NUMBER

C-1





ENGINEER

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER

**NB+C**  
TOTALLY COMMITTED.  
**NB+C ENGINEERING SERVICES, LLC.**  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

REVISIONS				
REV	DATE	DESCRIPTION	BY	
2	05/31/22	REVISED	KLB	
1	11/01/21	FINALS	KLB	
0	10/18/21	PRELIMINARY ZDs	KLB	

JOHN A. DAUGHTREY III  
Lic. No. 0402052122  
05/31/2022  
PROFESSIONAL ENGINEER

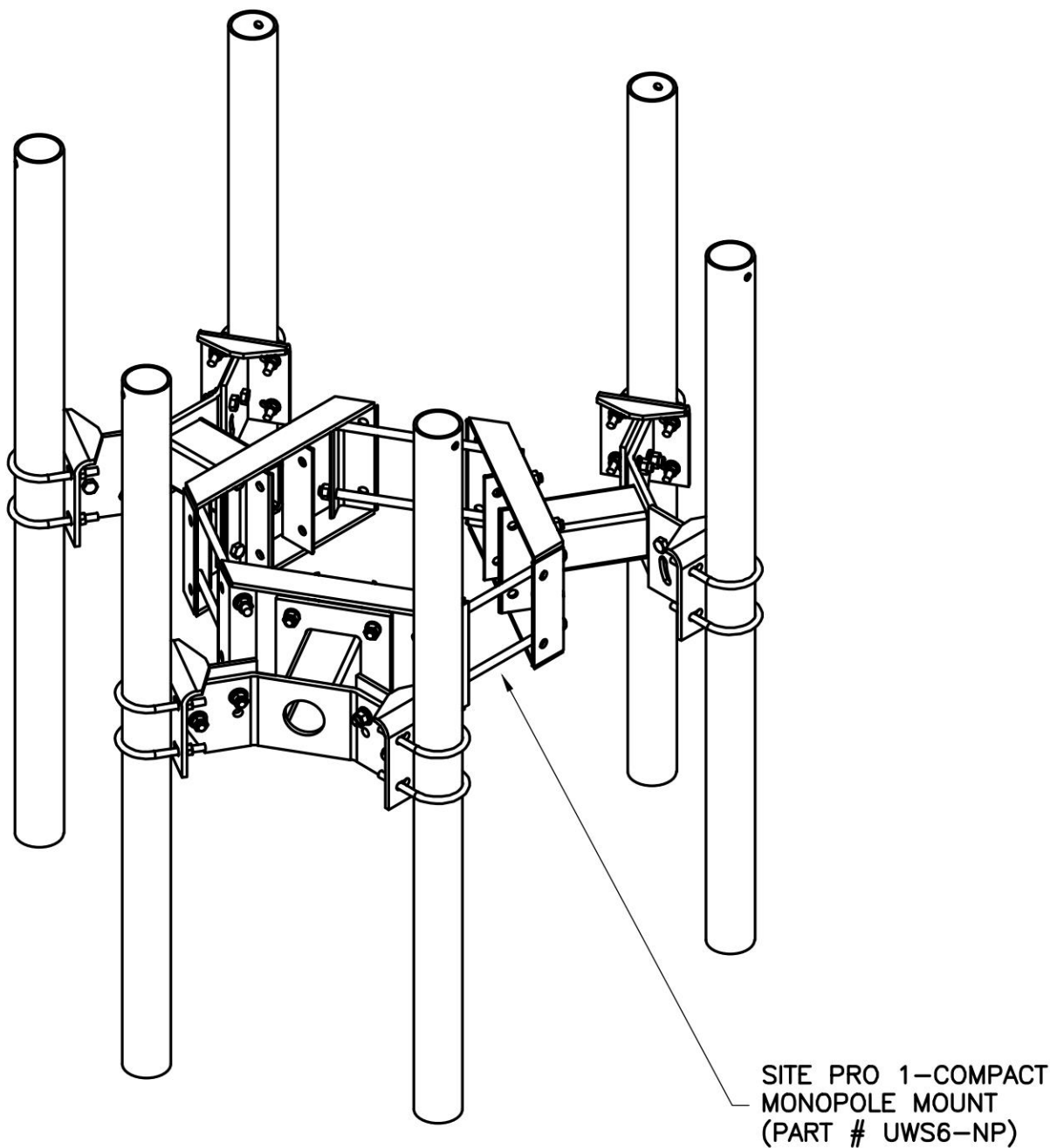
JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

**TOWER ELEVATION & NOTES**

**C-2**



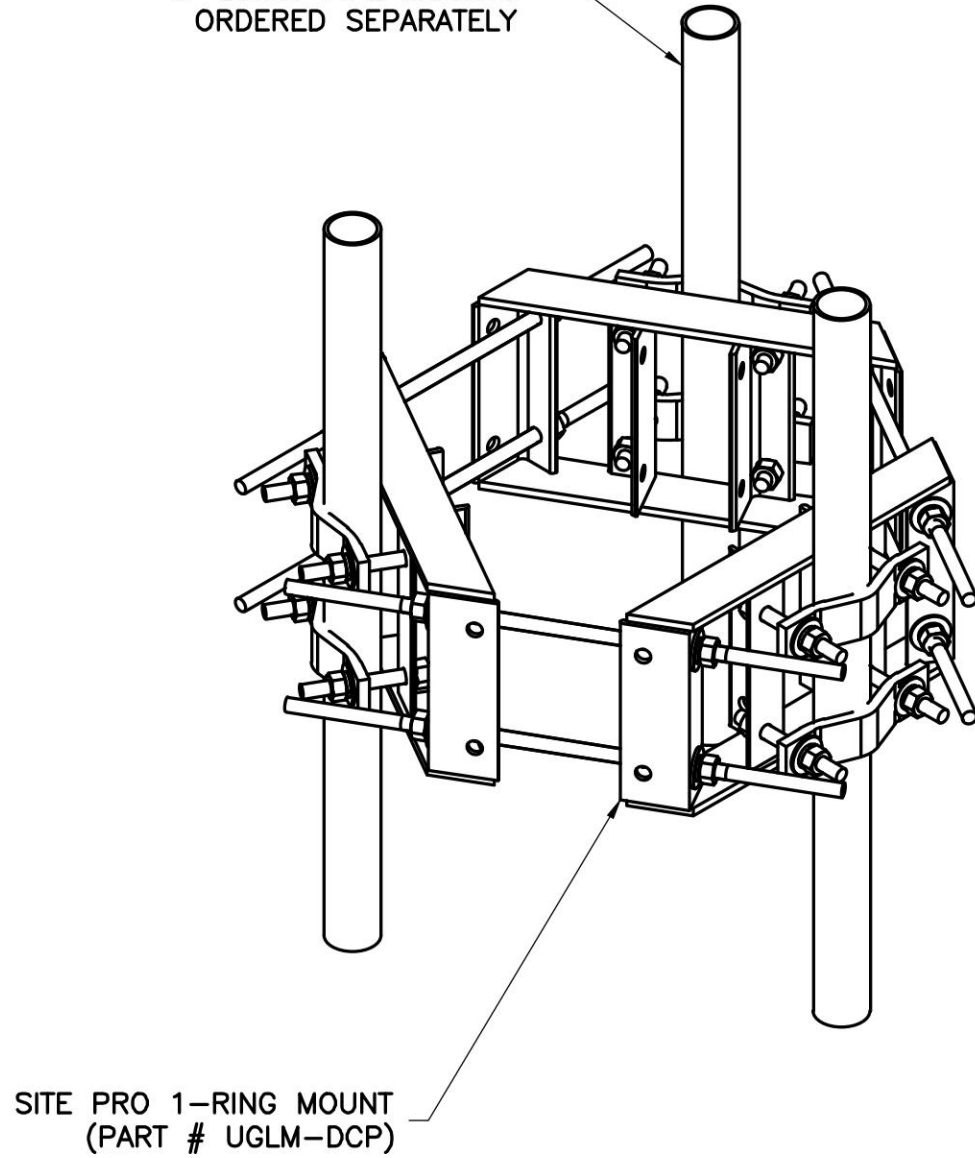
NOTE:  
TWO OF THESE MOUNTS ARE REQUIRED FOR  
THIS SITE. THE (6) 3.5" SCH. 40 X 18'  
LONG PIPE MOUNTS ARE SOLD SEPARATELY.  
THE PIPE MOUNTS WILL SPAN BETWEEN THE  
TWO COMPACT MONOPOLE MOUNTS AS  
SHOWN ON SHEET C-2



NOTE: CONTRACTOR TO PROVIDE SITE PRO 1-COMPACT MONOPOLE MOUNT (PART # UWS6-NP) OR APPROVED EQUIVALENT

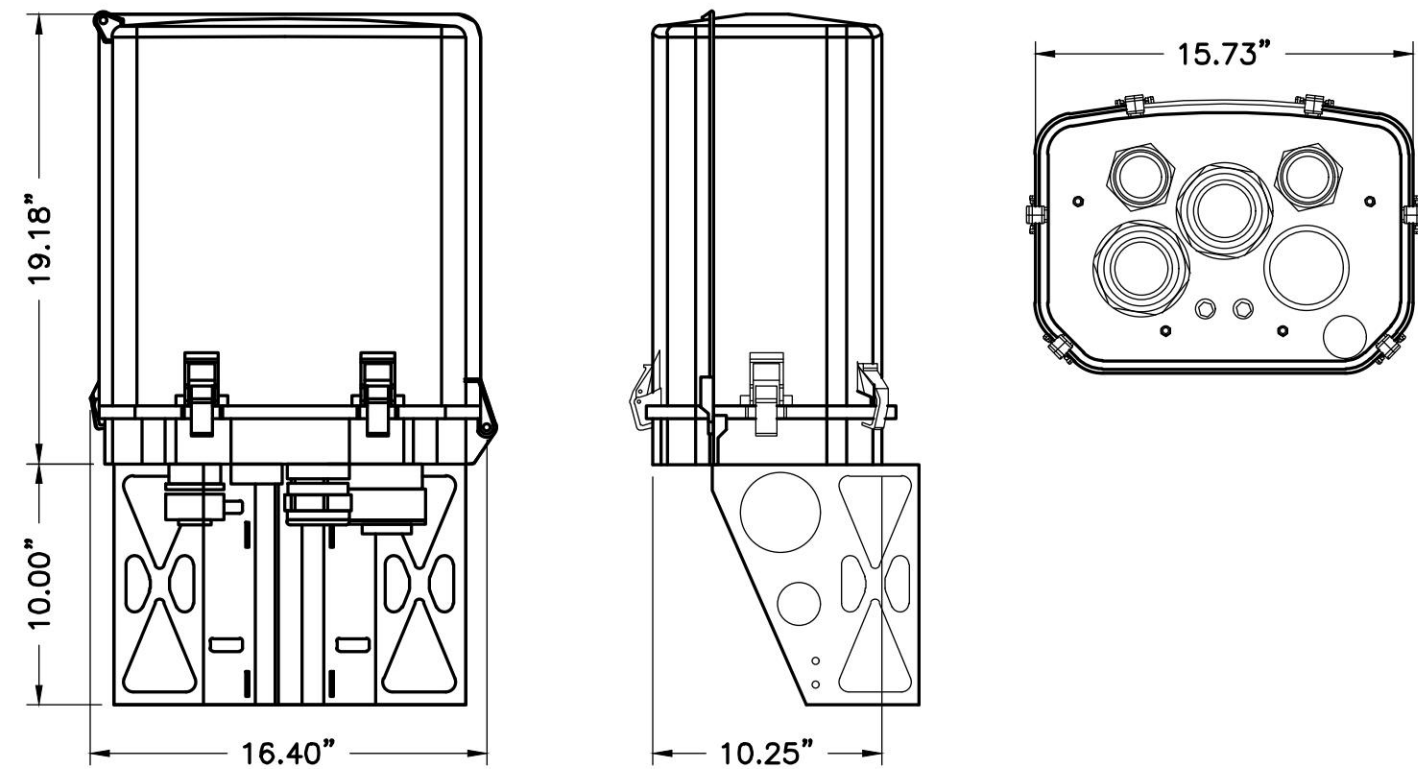
1 ANTENNA & RRH MOUNT DETAIL  
SCALE: NTS

(3) PROPOSED 2" STD PIPES.  
6' LONG. PIPE MOUNTS  
ORDERED SEPARATELY

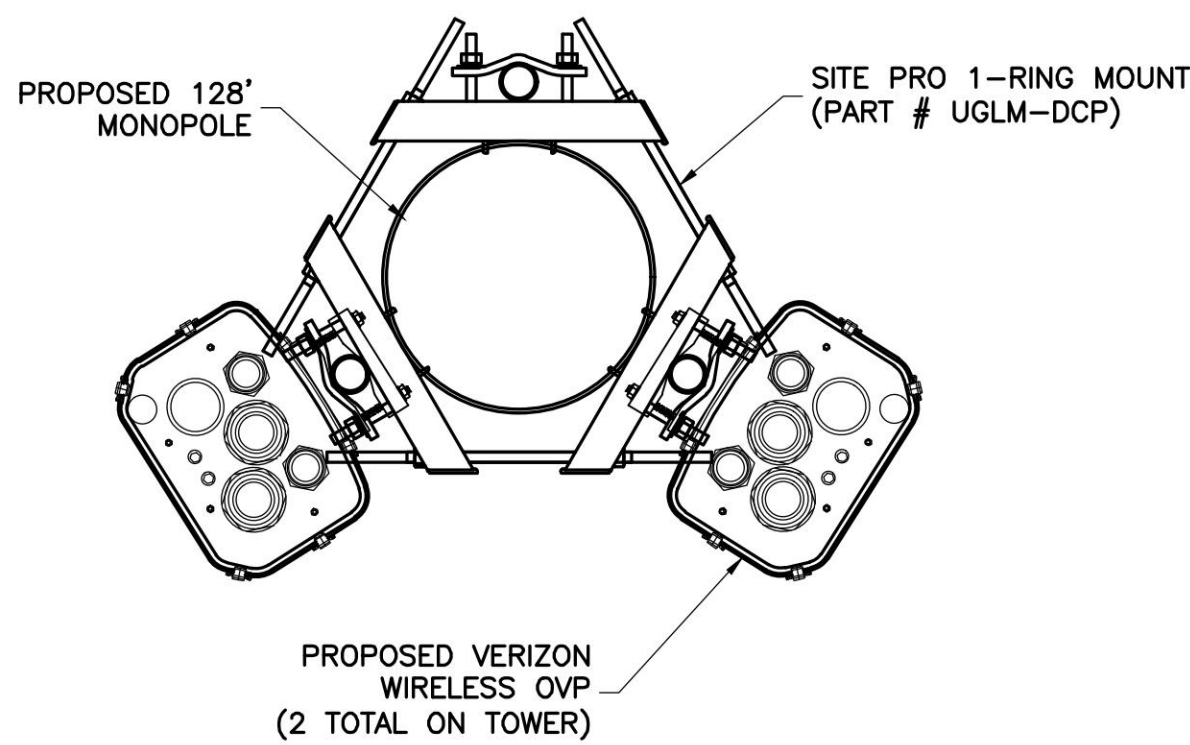


NOTE: CONTRACTOR TO PROVIDE SITE PRO 1-RING MOUNT (PART # UGLM-DCP) OR APPROVED EQUIVALENT

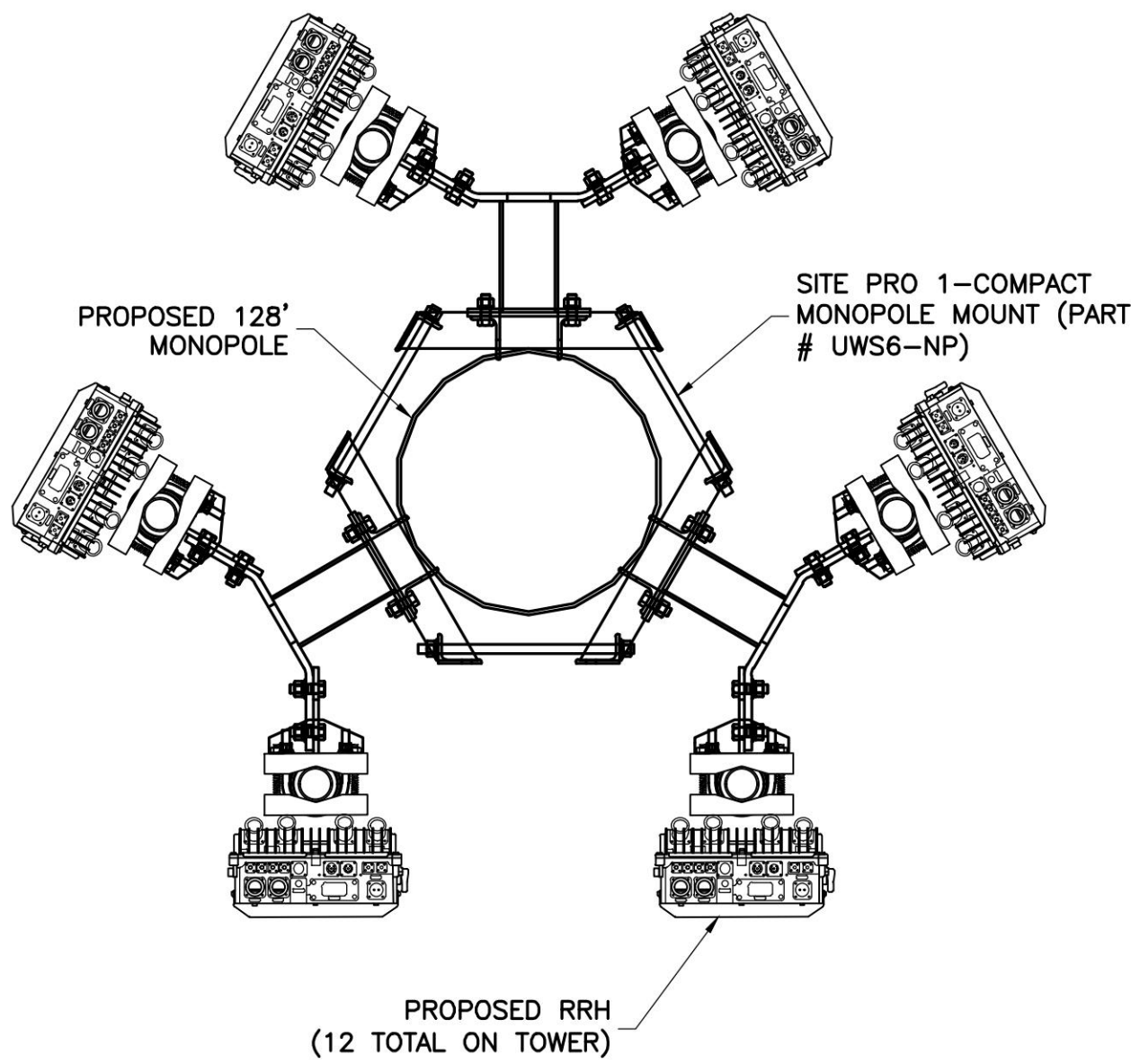
2 OVP MOUNT DETAIL  
SCALE: NTS



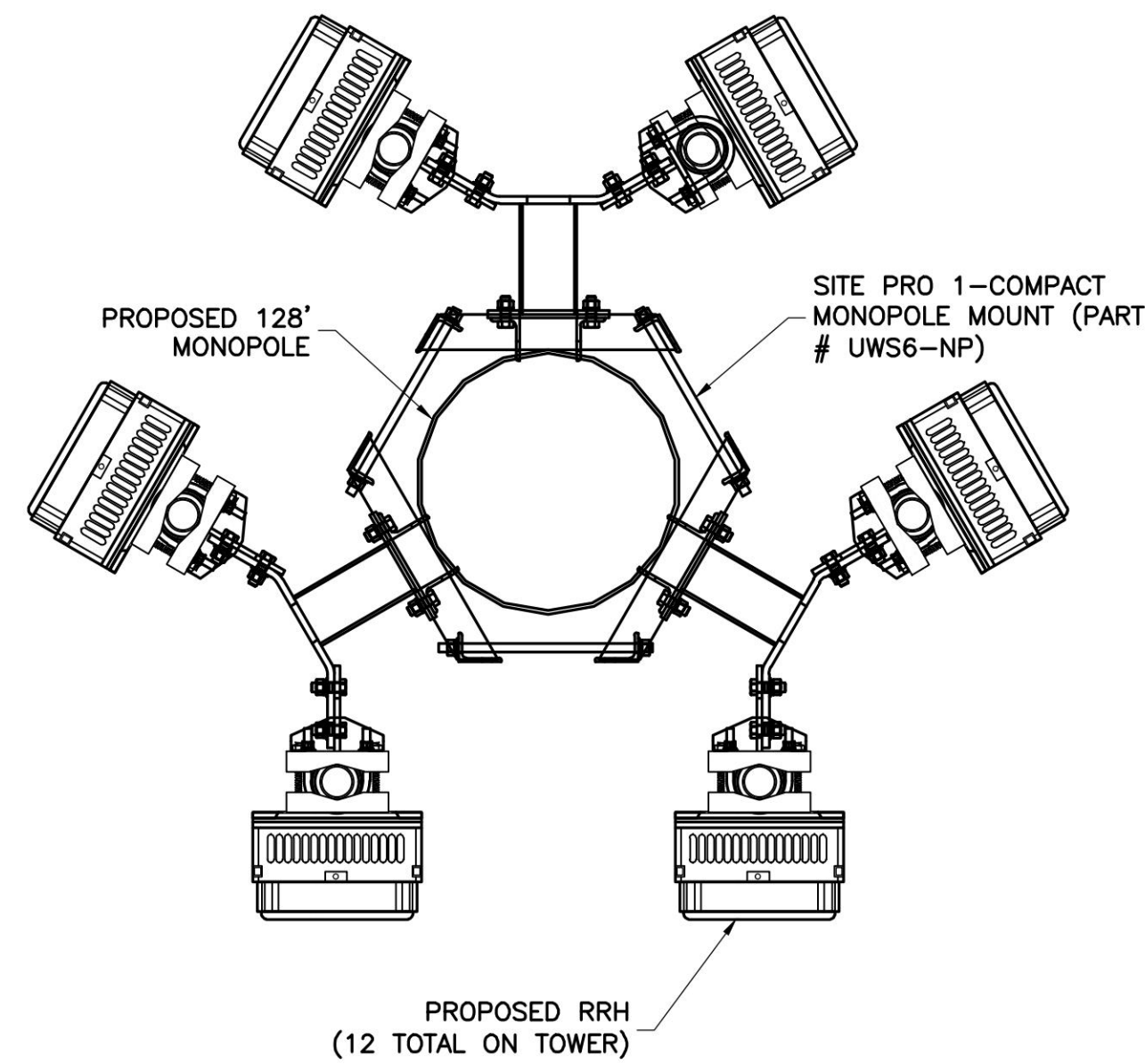
3 RAYCAP OVP BOX #RHSDC-3315-PF-48  
NTS



4 PROPOSED OVP ORIENTATION PLAN - 65.5' MOUNT CENTER  
NTS



5 PROPOSED RRH ORIENTATION PLAN - 65.5' RAD CENTER  
NTS



6 PROPOSED RRH ORIENTATION PLAN - 73.5' RAD CENTER  
NTS

ENGINEER

**NB+C**  
TOTALLY COMMITTED.  
NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

APPLICANT

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

DESIGN RECORD

### REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

PROFESSIONAL STAMP



ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

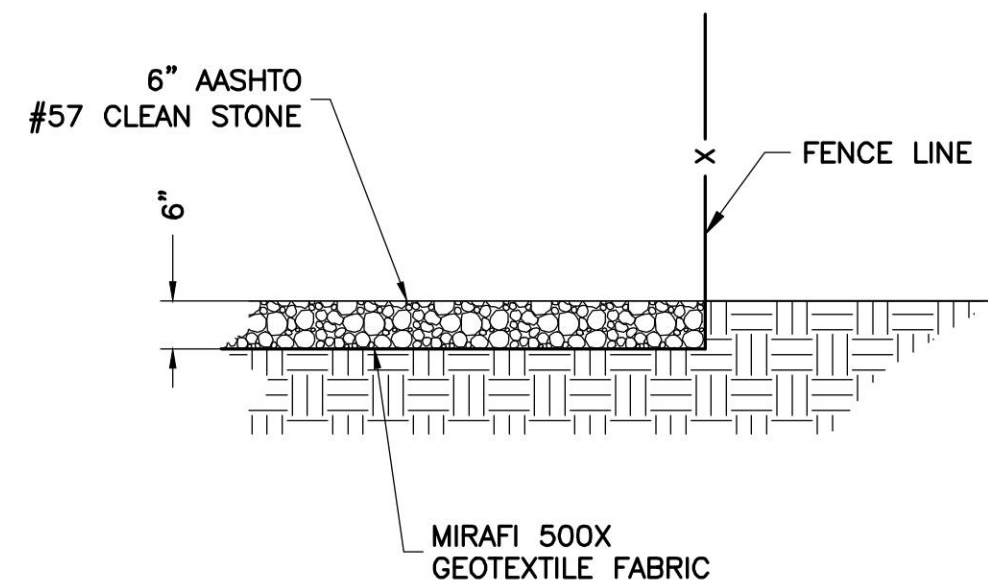
SHEET TITLE

**MOUNT DETAILS**

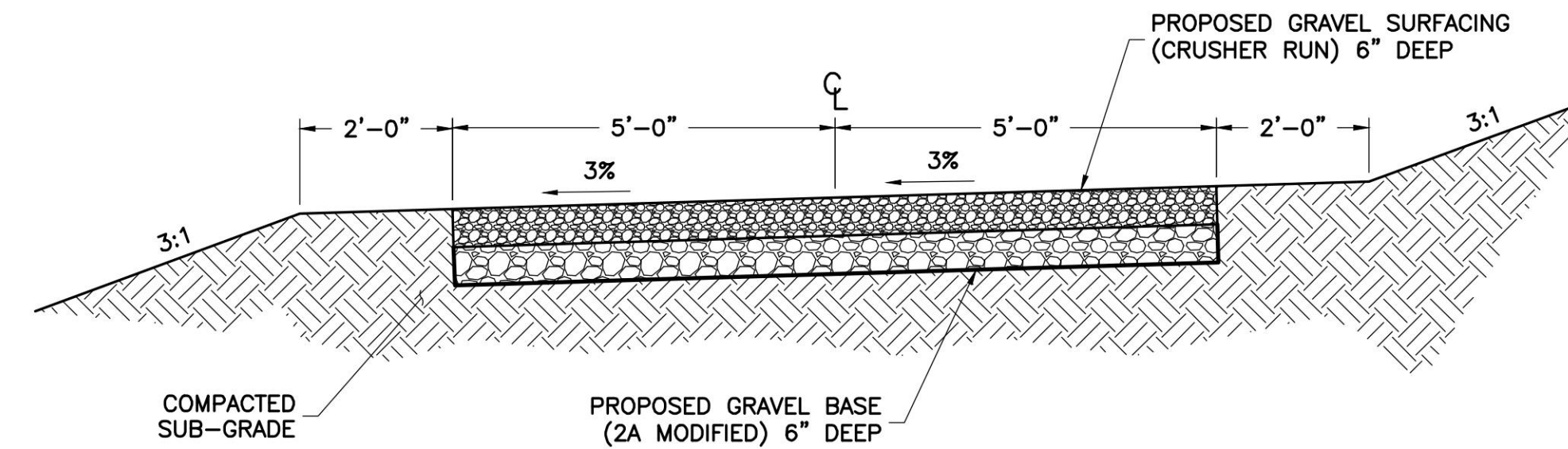
SHEET NUMBER

**C-3**



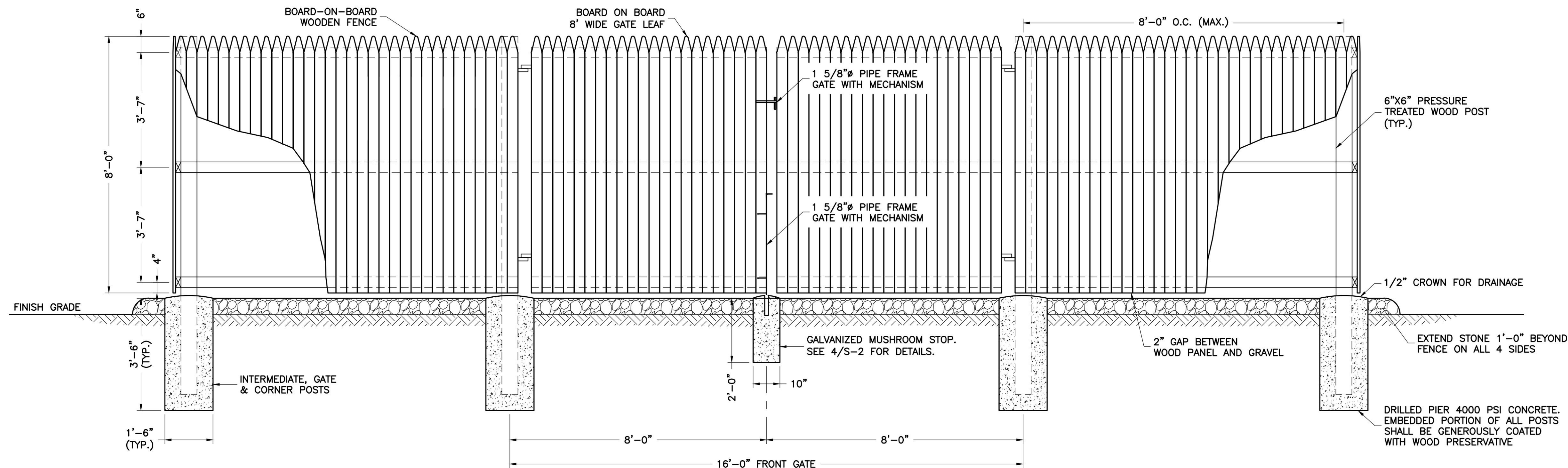


1 GRAVEL COMPOUND DETAIL  
S-1 NTS



- NOTE:
- CONTRACTOR TO USE 6" DEEP GRAVEL BASE (2A MODIFIED) AS MEANS OF ACCESS FOR ALL HEAVY CONSTRUCTION TRAFFIC. PROPOSED GRAVEL SURFACE (6" DEEP CRUSHER RUN) TO BE INSTALLED AFTER ALL MAJOR CONSTRUCTION HAS BEEN COMPLETED.
  - THE PROPOSED ROAD MUST BE KEYED INTO THE EXISTING GRADE. THE FINAL FINISHED GRADE SHALL BE FLUSH WITH THE EXISTING GRADE TO ALLOW FOR PROPER DRAINAGE ACROSS THE ROAD.

2 PROPOSED GRAVEL DRIVEWAY TYPICAL SECTION  
S-1 NTS



3 TYPICAL FENCE AND GATE DETAIL  
S-1 NTS

- FENCE & GATE NOTES:
- PROVIDE HALF MOON CONCRETE GATE KEEPER FOR DROP ROD
  - PROVIDE GATE CATCHES AT REQUIRED LOCATIONS
  - FENCE SHALL BE INSTALLED WITH THE FINISHED SIDE FACING OUTWARD
  - GATE TO BE SECURE WITH A MULTI-LOCK SYSTEM TO PREVENT UNAUTHORIZED ACCESS TO TELECOM FACILITY.

ENGINEER

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER

**NB+C**  
TOTALLY COMMITTED.  
NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

**verizon**  
1831 RADY COURT  
RICHMOND, VA 23222

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

## REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

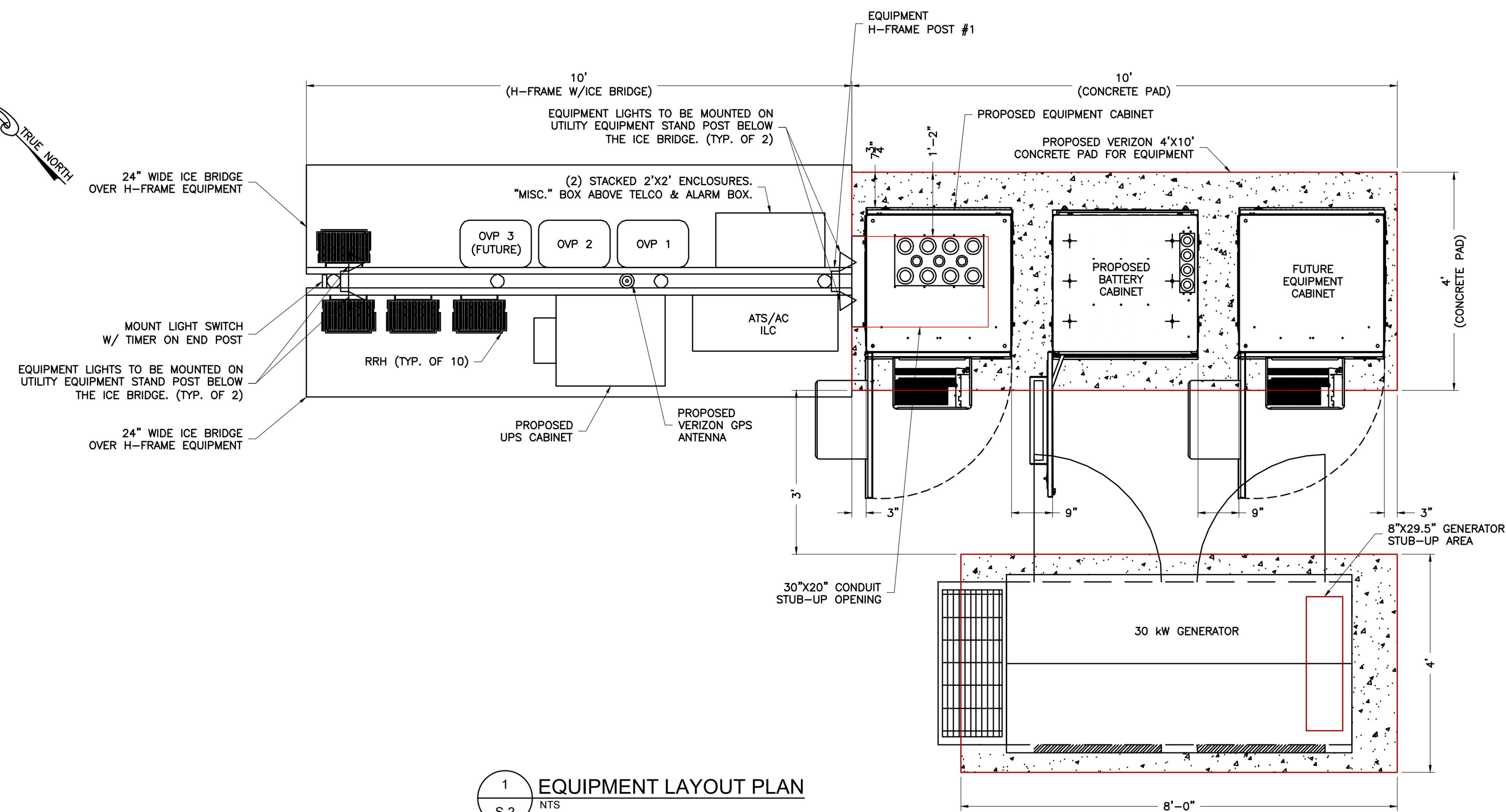
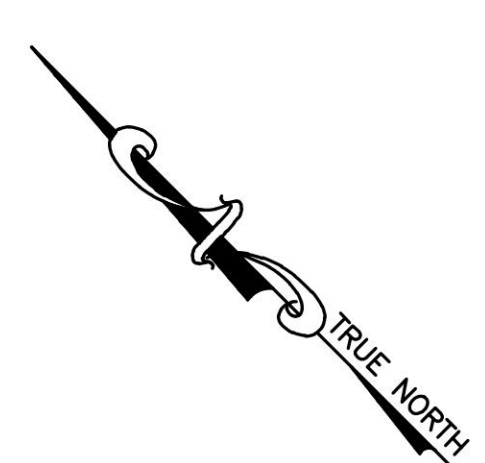


JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

## CONSTRUCTION DETAILS

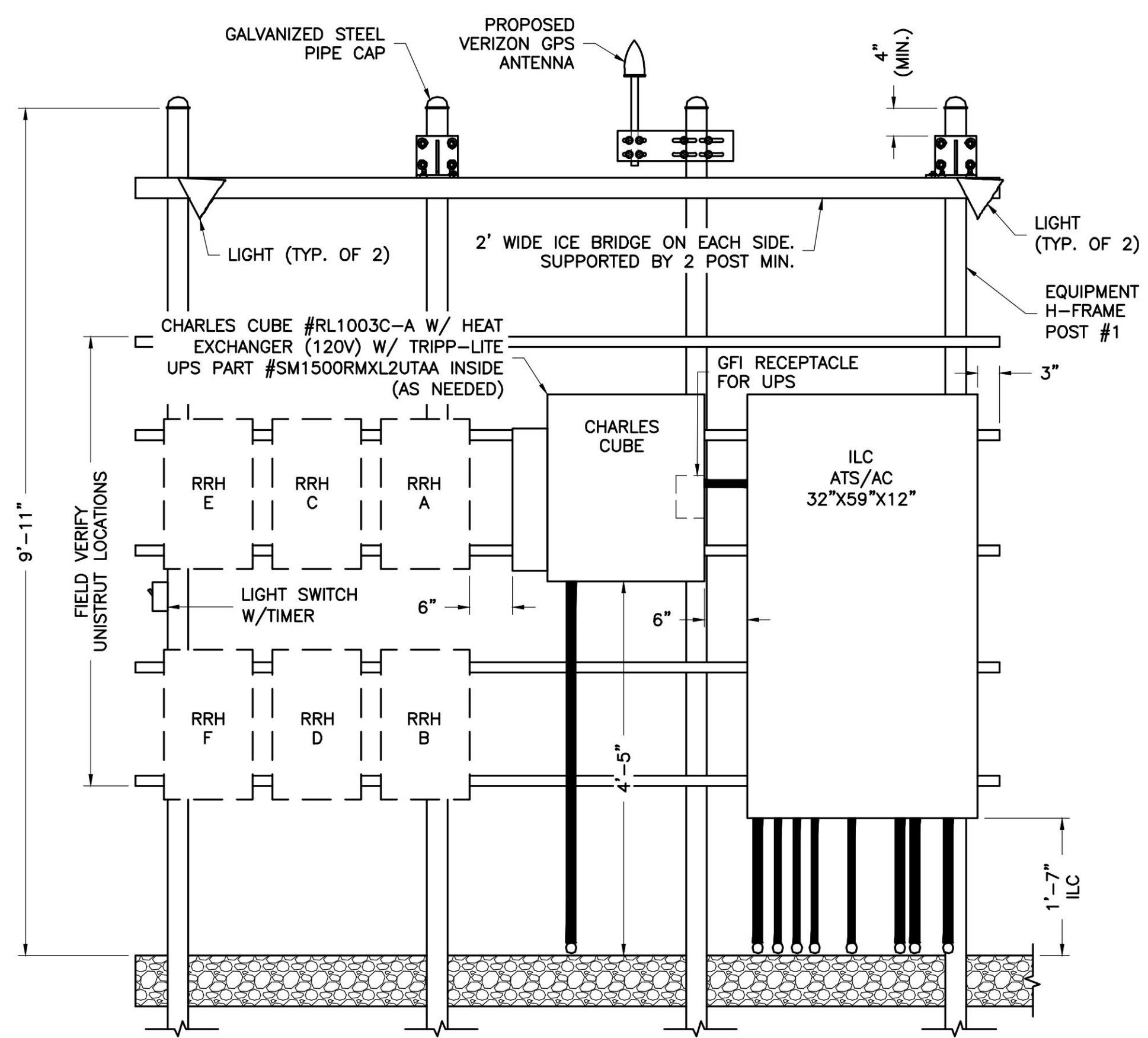
**S-1**



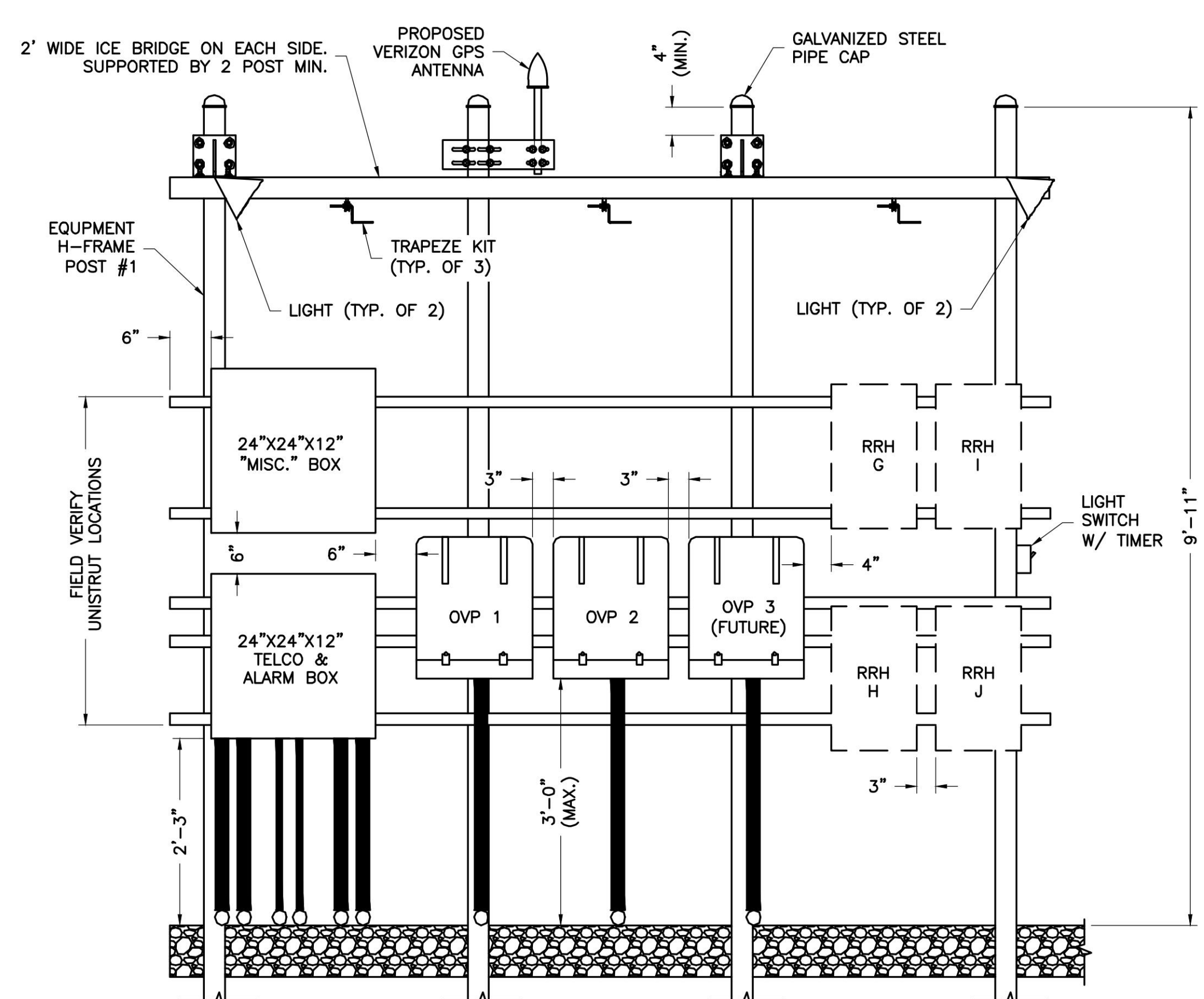


1  
S-2  
NTS  
EQUIPMENT LAYOUT PLAN

- VERIZON WIRELESS EQUIPMENT:**
- CHARLES INDUSTRIES CUBE-PM63915TN2 BATTERY CABINET
  - CHARLES INDUSTRIES CUBE-BB48E1HN1 BATTERY CABINET
  - (2) RAYCAP OVP
- CONTRACTOR PROVIDED EQUIPMENT:**
- \* THIS IS NOT A COMPREHENSIVE LIST. IT SHOULD BE ASSUMED BY THE CONTRACTOR THAT ALL OTHER ITEMS DETAILED IN THIS SET OF DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.
- 36" WIDE X 36" TALL X 12" DEEP TELCO BOX, NEMA 3R, CABINET ENCLOSURE WITH CENTER DIVIDE, PAINTED GREY WITH WOODEN BACKBOARD, PADLOCK LATCH, AND COMBINATION LOCK.
  - "MISC SIDE": CONTRACTOR SHALL PROVIDE (2) FILE FOLDER HOLDERS, FOLD DOWN LAPTOP DESK, AND OUTDOOR RATED COVERED GFCI FOUR PLUG RECEPTACLE.
  - "FM SIDE": FIBER MANAGEMENT SPACE.
  - 32" WIDE X 59" TALL X 12" DEEP, ASCO D300L SERIES POWER TRANSFER LOAD CENTER MODEL AA300G-1PH-N-3R - INTEGRATED LOAD CENTER "ILC" WITH COMBINATION PADLOCK.
  - COORDINATE ADDITIONAL ENTRY GATE LOCK(S) WITH CONSTRUCTION MANAGER.



SIDE A



SIDE B

2  
S-2  
NTS  
H-FRAME RISER DETAILS

ENGINEER

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER



**NB+C ENGINEERING SERVICES, LLC.**  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

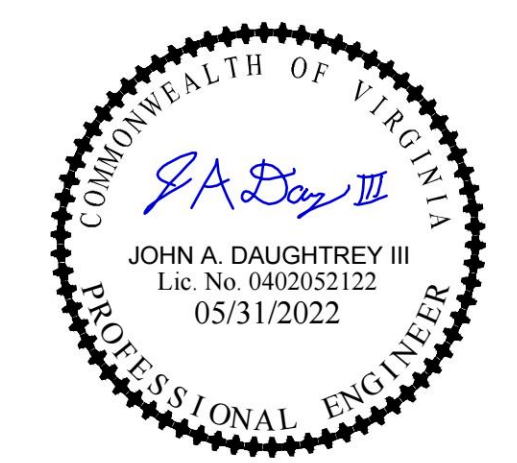


1831 RADY COURT  
RICHMOND, VA 23222

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

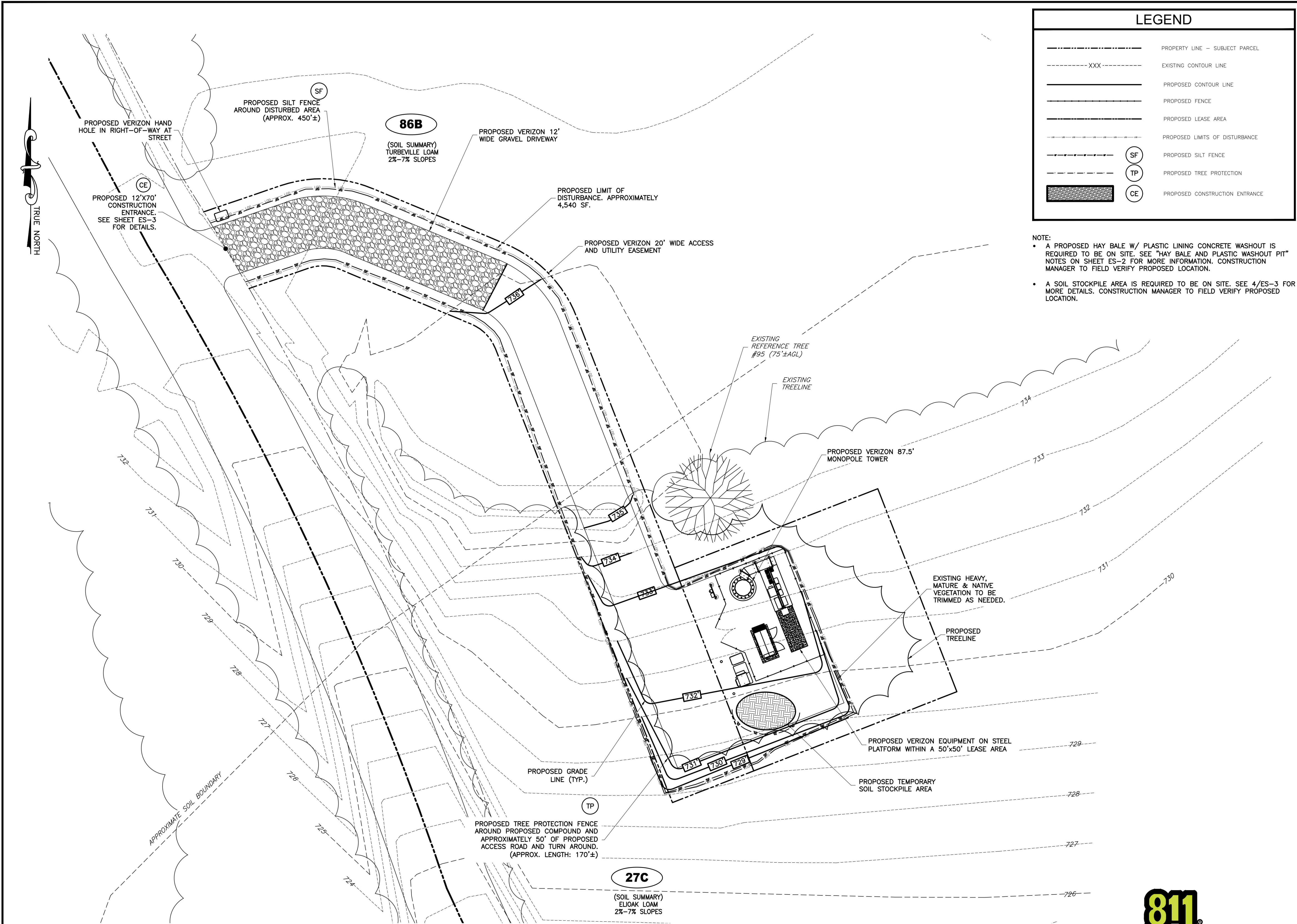


JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

EQUIPMENT  
MOUNTING  
DETAILS

S-2





LEGEND

PROPERTY LINE - SUBJECT PARCEL

---

EXISTING CONTOUR LINE

---

PROPOSED CONTOUR LINE

---

PROPOSED FENCE

---

PROPOSED LEASE AREA

---

PROPOSED LIMITS OF DISTURBANCE

SF

PROPOSED SILT FENCE

TP

PROPOSED TREE PROTECTION

CE

PROPOSED CONSTRUCTION ENTRANCE

NOTE:

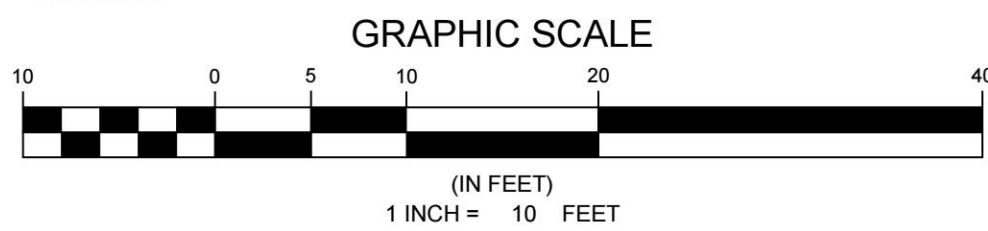
- A PROPOSED HAY BALE W/ PLASTIC LINING CONCRETE WASHOUT IS REQUIRED TO BE ON SITE. SEE "HAY BALE AND PLASTIC WASHOUT PIT" NOTES ON SHEET ES-2 FOR MORE INFORMATION. CONSTRUCTION MANAGER TO FIELD VERIFY PROPOSED LOCATION.
- A SOIL STOCKPILE AREA IS REQUIRED TO BE ON SITE. SEE 4/ES-3 FOR MORE DETAILS. CONSTRUCTION MANAGER TO FIELD VERIFY PROPOSED LOCATION.

1

ES-1

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 10'-0"



ENGINEER

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER

**NB+C**<sup>TM</sup>

TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.

120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

REVISIONS

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB

COMMONWEALTH OF VIRGINIA

JOHN A. DAUGHTREY III

Lic. No. 0402052122

05/31/2022

PROFESSIONAL ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

EROSION & SEDIMENT CONTROL PLAN

ES-1



## EROSION AND SEDIMENT CONTROL NARRATIVE

## PROJECT DESCRIPTION

THE PURPOSE OF THIS PROJECT IS THE CONSTRUCTION OF MONOPOLE TOWER, AND FENCED COMPOUND, ALONG WITH ASSOCIATED UTILITIES. THE LEASE AREA OF THE TOWER IS 2,500 SQ.FT.; THE COMPOUND AREA IS 442 SQ.FT.; THE TOTAL DISTURBED AREA IS 4,440 SF.

## EXISTING SITE CONDITIONS

THE EXISTING SITE CONDITIONS CONSIST OF DENSE WOODS, SPARSE WOODLANDS AND OPEN SPACE IN GOOD AND POOR CONDITION WITH AN AVERAGE SLOPE OF 5% TO THE SOUTH EAST.

ADJACENT AREAS

THE ADJACENT AREAS ARE UNDEVELOPED WOODLANDS AND SINGLE FAMILY RESIDENTIAL HOMES.

## OFF-SITE AREAS

THERE ARE NO PROPOSED OFF-SITE AREAS ASSOCIATED WITH THIS PROJECT.

## SOILS

(27C) ELIOAK LOAM - 7 TO 15 PERCENT SLOPES  
(86B) TURBEVILLE LOAM - 2 TO 7 PERCENT SLOPES

### CRITICAL AREAS

THERE ARE NO CRITICAL AREAS ASSOCIATED WITH THIS PROJECT.

## ESC MEASURES – STRUCTURAL PRACTICES

STRUCTURAL MEASURES TO BE USED ON THE SITE INCLUDE SILT FENCE (VE&SCH SPEC. 3.05), CONSTRUCTION ENTRANCE (VE&SCH SPEC. 3.02), TREE PROTECTION FENCE (VE&SCH SPEC. 3.38), TEMPORARY STOCK PILE (VE&SCH SPEC. 3.30), AND CONCRETE WASHOUT. ALL MEASURES SELECTED ARE STANDARD ESC ITEMS FOR THIS APPLICATION. ANY DISTURBED AREA DENuded FOR SEVEN DAYS THAT IS NOT IN ACTIVE WORK AREA TO BE TEMPORARILY SEEDED.

### ESC MEASURES – VEGETATIVE PRACTICES

VEGETATION PRACTICES INCLUDE TEMPORARY AND PERMANENT SEEDING (VE&SCH SPEC. 3.31 & 3.32).

PERMANENT STABILIZATION

1. UNTIL AN ADEQUATE ROOT SYSTEM IS ESTABLISHED AND IN THE ABSENCE OF ADEQUATE RAINFALL, SODDING (OR WHATEVER VEGETATION IS USED) SHALL BE IRRIGATED AS OFTEN AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. IN GENERAL, WATERING SHALL BE PERFORMED IN ACCORDANCE WITH THE VESCH.
2. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE DONE WITH KENTUCKY 31 TALL FESCUE ACCORDING TO STD. AND SPEC. 3.32, PERMANENT SEEDING, OF THE HANDBOOK, EROSION CONTROL. BLANKETS WILL BE INSTALLED TO PREVENT FILL SLIDES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDING TO PROTECT THE SLOPE. PROPERLY MULCH (STRAW OR FIBER) WILL BE USED ON ACTIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED FERTILIZER AND LIME WILL BE APPLIED PRIOR TO MULCHING. IN ACCORDANCE WITH MINIMUM STANDARD #3, PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
3. THE LOCAL VESCP AUTHORITY REPRESENTATIVE SHALL MAKE THE DETERMINATION AS TO WEATHER OR NO PERMANENT VEGETATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH MINIMUM STANDARD #3.

UNDERGROUND UTILITY LINE INSTALLATION:

UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

1. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
3. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
4. MATERIALS USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
5. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
6. COMPLY WITH APPLICABLE SAFETY REGULATIONS.

## CONSTRUCTION SEQUENCE

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE O/RP SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE LOCAL VESCP AUTHORITY TO AN ON-SITE MEETING. ALSO, AT LEAST 3 WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL VIRGINIA CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE VIRGINIA ONE CALL SYSTEM "MISS UTILITY" INCORPORATED AT 811 FOR BURIED UTILITIES LOCATIONS.

EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

1. MOBILIZATION
2. INSTALL SILT FENCE AROUND COMPOUND AREA.
3. COMMENCE CLEARING AND GRUBBING. SOIL STOCKPILE AREA AND ROUGH GRADE SITE.
4. EXCAVATE AND POUR TOWER FOUNDATION. BACKFILL AND COMPACT FOUNDATION AREA.
5. CONSTRUCT AND MAINTAIN TEMPORARY COVER TO STABILIZE DISTURBED AREAS.
6. INSTALL UTILITIES.
7. COLLECT SILT AND SEDIMENT AND PLACE BACK ON SITE
8. ESTABLISH PERMANENT COVER
9. UPON APPROVAL OF THE LOCAL VESCP AUTHORITY, REMOVE EROSION AND CONTROL MEASURES

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION. THE LOCAL VESCP AUTHORITY REPRESENTATIVE SHALL MAKE THE DETERMINATION AS TO WHEN FINAL STABILIZATION HAS BEEN ACHIEVED.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

## GENERAL EROSION & SEDIMENT CONTROL NOTES

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VA EROSION & SEDIMENT CONTROL HANDBOOK LATEST EDITION AND VIRGINIA EROSION & SEDIMENT CONTROL REGULATIONS.
2. THE LOCAL PLAN APPROVING AUTHORITY (ALBEMARLE COUNTY ESC OFFICE) MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY AND ONE WEEK PRIOR TO THE FINAL INSPECTION. IF NO PRE-CONSTRUCTION CONFERENCE HAS OR WILL BE SCHEDULED, ONE MUST BE SCHEDULED WITH THE ALBEMARLE COUNTY ESC OFFICE. ALBEMARLE COUNTY'S ESC OFFICE TELEPHONE NUMBER IS (434) 296-5832.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS) THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE LOCAL PLAN APPROVING AUTHORITY.
6. THE JOB SUPERINTENDENT IS RESPONSIBLE FOR INSTALLATION OF ANY ADDED EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE LOCAL E&S AUTHORITY.
7. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
8. DURING DEWATERING OPERATIONS, ALL WATER BE PUMPED INTO AN APPROVED FILTERING DEVICE.
9. THE JOB SUPERINTENDENT SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

## MANAGEMENT STRATEGIES

1. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
2. SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING AND WILL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
3. TEMPORARY SEEDING OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER GRADING. SEE VA E&SC HANDBOOK 3.31-B FOR SEEDING SPECIFICATION.
4. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC.
5. THE JOINT SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
6. AFTER ACHIEVING ADEQUATE STABILIZATION THE TEMPORARY ESC MEASURES WILL BE CLEANED UP FROM ACCUMULATED SEDIMENT AND REMOVED, ONLY AFTER APPROVAL OF THE JURISDICTION ESC INSPECTOR.

## MAINTENANCE

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

1. THE GRAVEL OUTLETS WILL BE CHECKED REGULARLY FOR SEDIMENT BUILDUP WHICH WILL PREVENT DRAINAGE. IF THE GRAVEL IS CLOGGED BY SEDIMENT, IT SHALL BE REMOVED AND CLEANED OR REPLACED.
2. THE SILT FENCE WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALFWAY TO THE TOP OF THE BARRIER.
3. THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDING AS NEEDED.

## TOPSOIL SPECIFICATIONS

1. TOPSOIL SPECIFICATIONS
  - A. THE CONTRACTOR SHALL FURNISH ALL LABOR, SUPERVISION, MATERIAL (EXCEPT AS HEREIN PROVIDED), TOOLS EQUIPMENT, SUPPLIES, AND SERVICES; AND, SHALL PERFORM ALL WORK NECESSARY FOR PROVIDING (TYPE B AS NECESSARY) AND APPLYING TOPSOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THESE SPECIFICATIONS AND IN CONFORMITY TO THE DEPTHS AND LIMITS SHOWN ON THE DRAWINGS AS ESTABLISHED BY THE OWNER.
  - B. PRIOR TO USE OF PLACEMENT, THE CONTRACTOR SHALL SUBMIT CERTIFICATIONS OF SOIL TESTS FOR APPROVAL. SOIL TESTS SHALL BE PROVIDED AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET OF DISTURBED AREA.
  - C. UNLESS OTHERWISE DIRECTED BY THE OWNER, AREAS DESIGNATED TO RECEIVE TOPSOIL SHALL BE GRADED, SHAPED, AND THEN SCARIFIED OR TILLED BY DISKING, HARROWING, OR OTHER APPROVED METHODS TO A DEPTH OF APPROXIMATELY 2". TOPSOIL SHALL BE APPLIED ONLY WHEN THE SUBSOIL IS IN A LOOSE, FRABLE CONDITION.
  - D. THE CONTRACTOR SHALL PROTECT BENCHMARKS, UTILITIES, AND EXISTING TREES, SHRUBS, AND LANDSCAPE FEATURES DESIGNATED FOR PRESERVATION WITH TEMPORARY FENCING OR BARRICADES SATISFACTORY TO THE OWNER.
  - E. SUBSOIL ON SLOPES THAT HAVE BEEN HORIZONTALLY GROOVED IN ACCORDANCE WITH THE DRAWINGS SHALL NOT BE LOOSENEED.
  - F. THE LOOSE DEPTH OF THE CLASS OF TOPSOIL SHALL BE NO LESS THAN 4" (NOT LESS THAN 6" IN MEDIANS; AND SHALL BE SUFFICIENT TO ALLOW THE AREA TO CONFORM TO THE ELEVATIONS SHOWN ON THE DRAWINGS) OF TOPSOIL SETTLES. IN NO CASE SHALL THE CONSOLIDATED FINISH ELEVATION OF TOPSOIL EXCEED THE ELEVATION OF ADJACENT STRUCTURES. CONSOLIDATED ELEVATION SHALL BE FLUSH WITH THE ADJACENT STRUCTURES.
  - G. AFTER TOPSOIL HAS BEEN APPLIED, LARGE CLUMPS, HARD LUMPS, AND STONES MORE THAN 1" IN THE GREATEST DIMENSION, BRUSH, ROOTS, STUMPS, LITTER, AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE AREA. WHEN THE OPERATION IS COMPLETE, THE AREA SHALL BE IN A CONDITION TO RECEIVE SEED, SOD, OR PLANTS WITHOUT FURTHER SOIL PREPARATION. AREAS SHALL BE STABILIZED WITHIN 15 DAYS AFTER TOPSOIL IS APPLIED.
  - H. THE CONTRACTOR SHALL BE REQUIRED TO BACKFILL ALONG EDGES OF CURBS, SIDEWALKS AND ENTRANCES WHERE SETTLEMENT HAS OCCURRED AND RESHAPE AND RESLOPE, WHERE DIRECTED, PRIOR TO PLACEMENT OF TOPSOIL AS WELL AS TO ADD ADDITIONAL TOPSOIL AS REQUIRED DUE TO SETTLEMENT OR EROSION AT NO ADDITIONAL COST TO THE OWNER.

## SEEDING/ STABILIZATION SPECIFICATIONS

1. TOPSOIL STOCKPILE PROTECTION
  - A. APPLY GROUND LIMESTONE AT A RATE OF 90LBS. PER 1000 SQ.FT.
  - B. APPLY FERTILIZER (10-20-10) AT A RATE 11LBS. PER 1000 SQ.FT.
  - C. APPLY PERENNIAL RYEGRASS SEED AT 170 LB. PER 1 ACRE. AND ANNUAL RYEGRASS AT 170 LB. PER 1 ACRE.
  - D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 138 LBS. PER 1000 SQ.FT.
  - E. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
18. TEMPORARY STABILIZATION SPECIFICATIONS
  - A. APPLY GROUND LIMESTONE AT A RATE OF 184 LBS. PER 1000 SQ.FT.
  - B. APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ.FT.
  - C. APPLY PERENNIAL RYEGRASS SEED AT 170 LB. PER 1 ACRE. AND ANNUAL RYEGRASS AT 170 LB. PER 1 ACRE.
  - D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 138 LBS. PER 1000 SQ.FT.
  - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
19. PERMANENT STABILIZATION SPECIFICATIONS
  - A. APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
  - B. APPLY GROUND LIMESTONE AT A RATE OF 184 LBS. PER 1000 SQ.FT. AND WORK FOUR INCHES INTO SOIL.
  - C. APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ.FT.
  - D. APPLY HARD FESCUE SEED AT 20 LBS. PER 1 ACRE. AND CREEPING RED FESCUE SEED AT 20 LBS. PER 1 ACRE. AND PERENNIAL RYEGRASS SEED AT 20 LBS. PER 1 ACRE. AND TALL FESCUE SEED AT 20 LBS. PER 1 ACRE.
  - E. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 138 LBS. PER 1000 SQ.FT.
  - F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

## HAY BALE AND PLASTIC WASHOUT PIT

HAY BALES AND PLASTIC WASHOUT PIT TO BE BUILT ABOVE GRADE. THE PLASTIC LINING SHOULD BE MINIMUM 10 MIL THICKNESS, FREE OF TEARS OR HOLES THAT WOULD ALLOW THE WASHWATER TO ESCAPE. AFTER THE PIT IS USED TO WASH DOWN THE CHUTES OF MULTIPLE READY MIXED TRUCKS AND THE WASHWATER HAS EVAPORATED OR HAS BEEN VACUUMED OFF, THE REMAINING HARDENED SOLIDS CAN BE BROKEN UP AND REMOVED FROM THE PIT. THIS PROCESS MAY DAMAGE THE HAY BALES AND PLASTIC LINING. IF DAMAGE OCCURS, THE PIT WILL NEED TO BE REPAIRED AND RELINED WITH NEW PLASTIC. WHEN THE HARDENED SOLIDS ARE REMOVED FROM THE PIT, THE WASTE MATERIAL MUST BE RECYCLED OR DISPOSED OF AT AN APPROVE WASTE FACILITY.

ENGINEER

NB+C

TOTALLY COMMITTED.

**NB+C ENGINEERING SERVICES, LLC.**

120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
804-548-4079

APPLICANT

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

SITE INFORMATION

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

DESIGN RECORD

REVISIONS

2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB
REV	DATE	DESCRIPTION	BY

PROFESSIONAL STAMP

COMMONWEALTH OF VIRGINIA

*JA Daughtrey III*

JOHN A. DAUGHTREY III  
Lic. No. 0402052122  
05/31/2022

PROFESSIONAL ENGINEER

ENGINEER

JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

SHEET TITLE

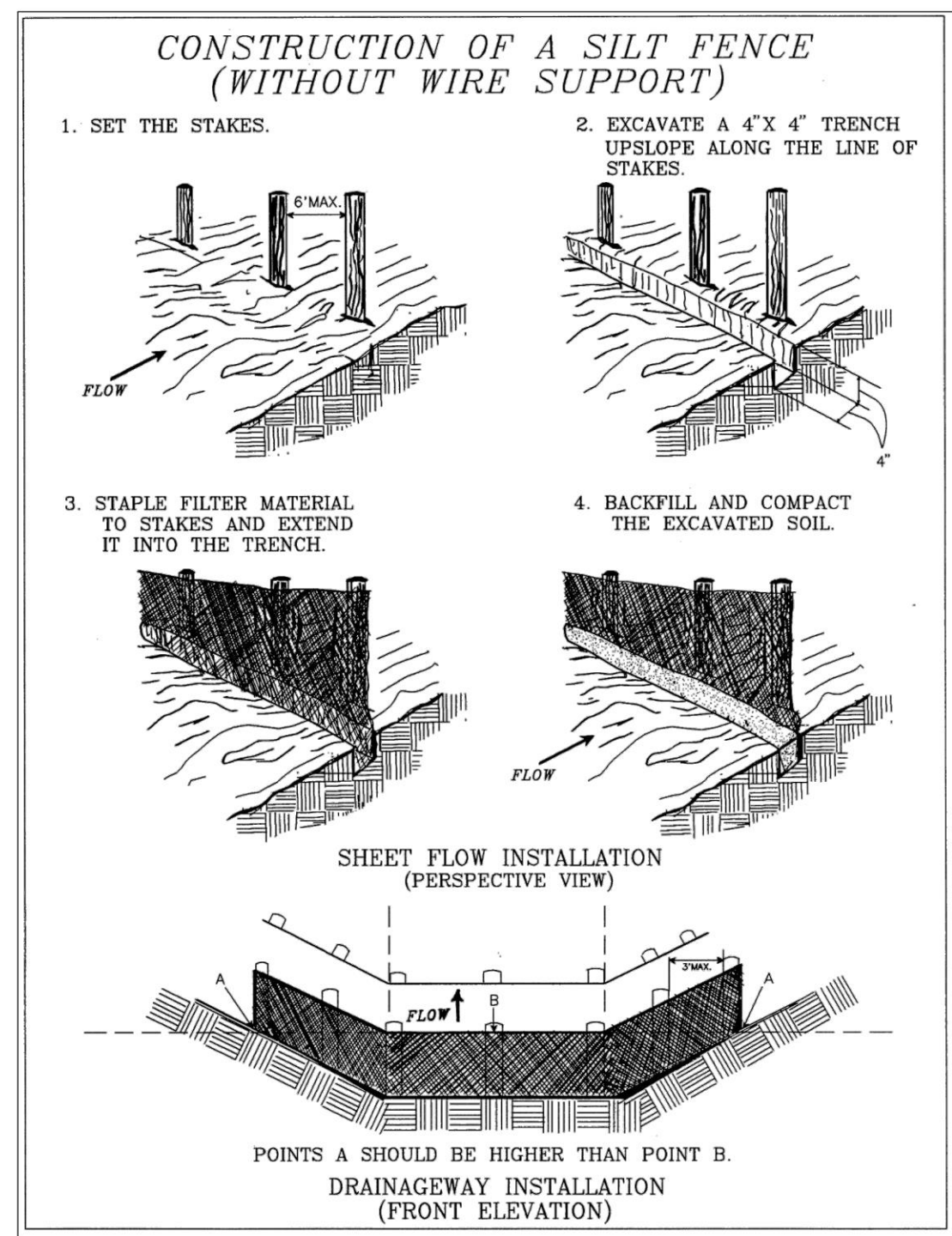
GROUNDING PLAN  
& DETAILS

SHEET NUMBER

ES-2



NOTE: ALL SILT FENCES ARE TO USE 36 INCH FABRIC AND STAKED WITH 2"x2" HARDWOOD STAKES ON 6' CENTERS

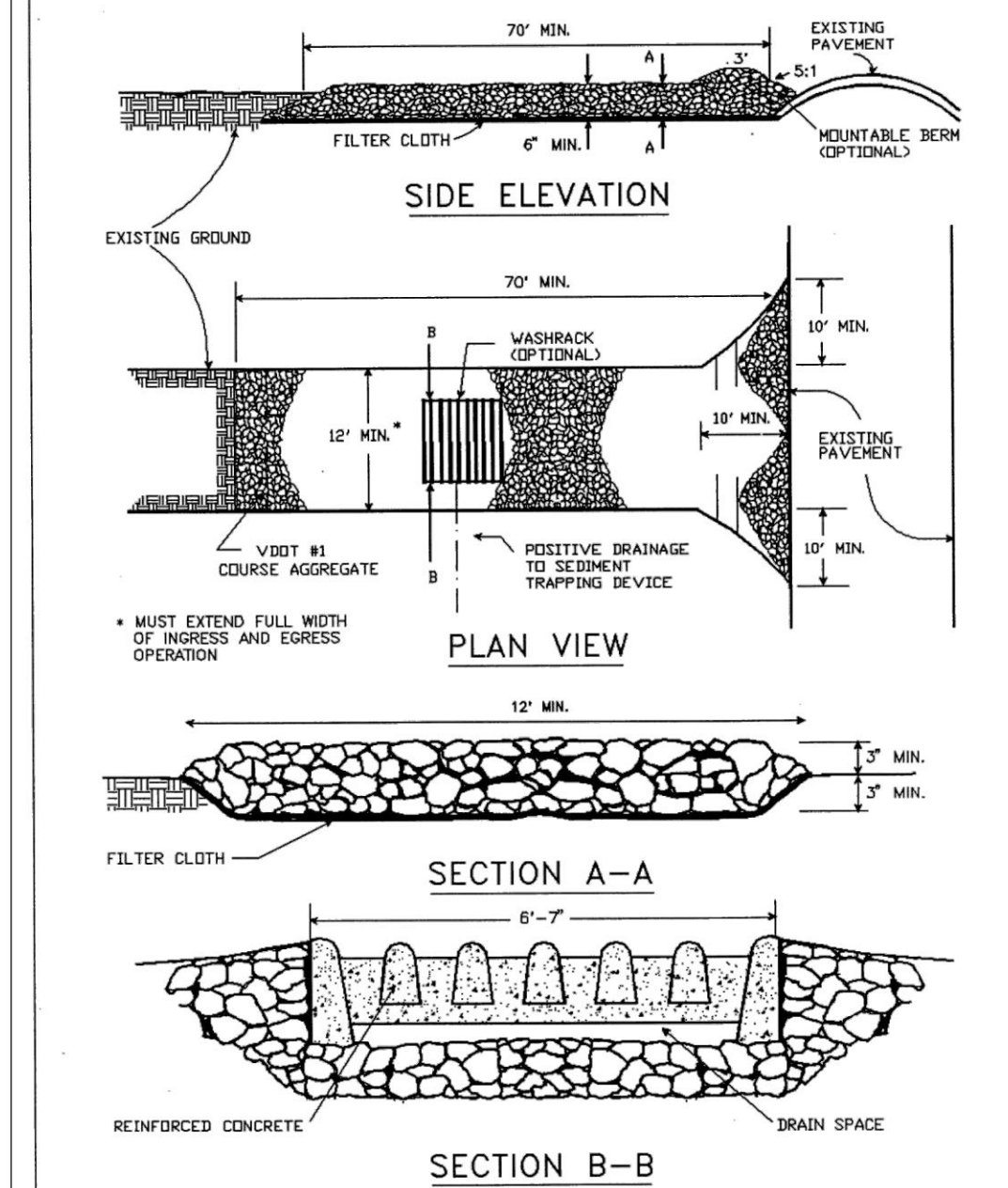


VESCH 3.05 SILT FENCE

1 STANDARD FILTER FABRIC FENCE  
ES-3 NTS

SF

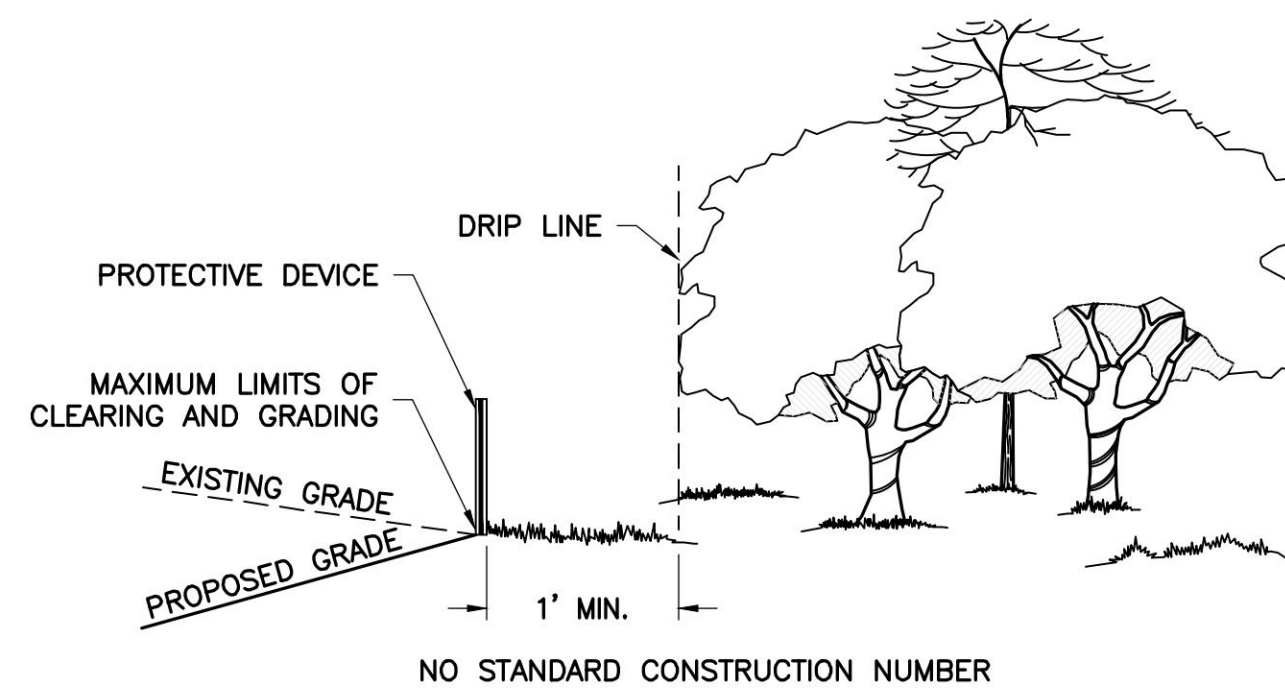
**STONE CONSTRUCTION ENTRANCE**



VESCH 3.02 CONSTRUCTION ENTRANCE

2 ROCK CONSTRUCTION ENTRANCE  
ES-3 NTS

CE



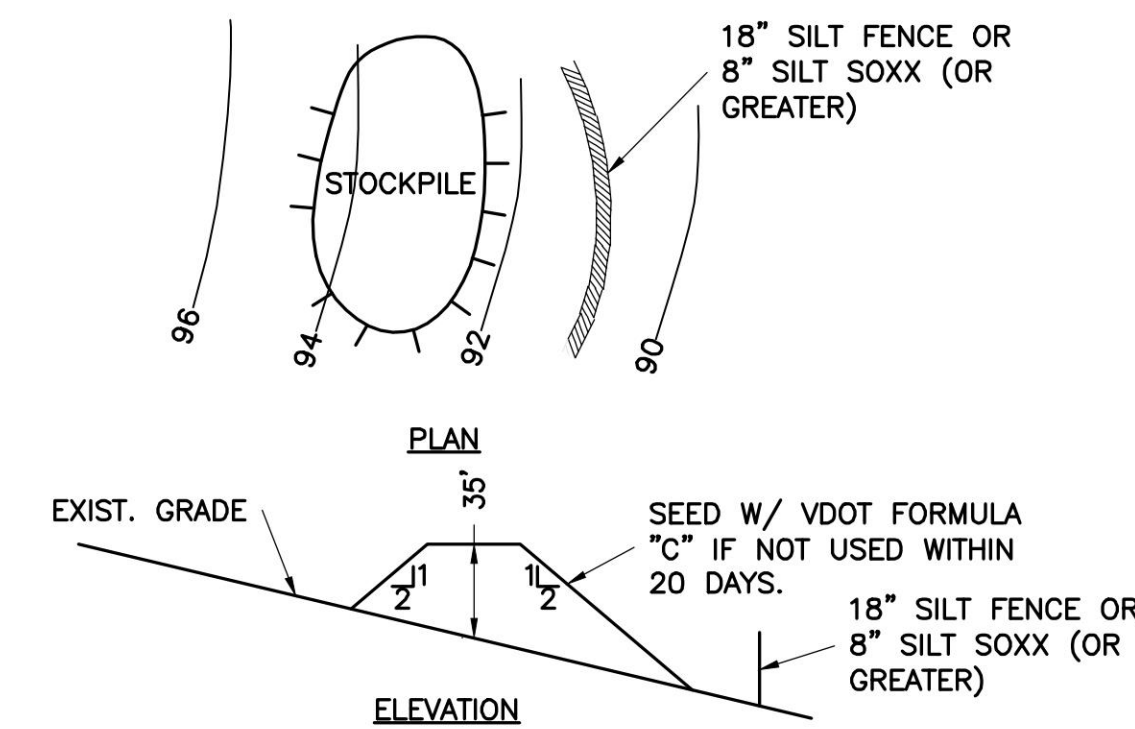
**NOTES:**

1. THE TREE PROTECTIVE BARRIER MUST CONSIST OF ORANGE SAFETY FENCING, NOT LESS THAN THREE FEET HIGH AND SUPPORTED BY WOOD/METAL POLES.
2. THE TREE PROTECTIVE BARRIER WILL NEED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
3. APPROVAL OF TREE PROTECTIVE BARRIER WOULD NEED TO OCCUR PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND FINAL SITE PLAN APPROVAL.

VESCH 3.38 TREE PROTECTION

3 TREE PROTECTION FENCE  
ES-3 NTS

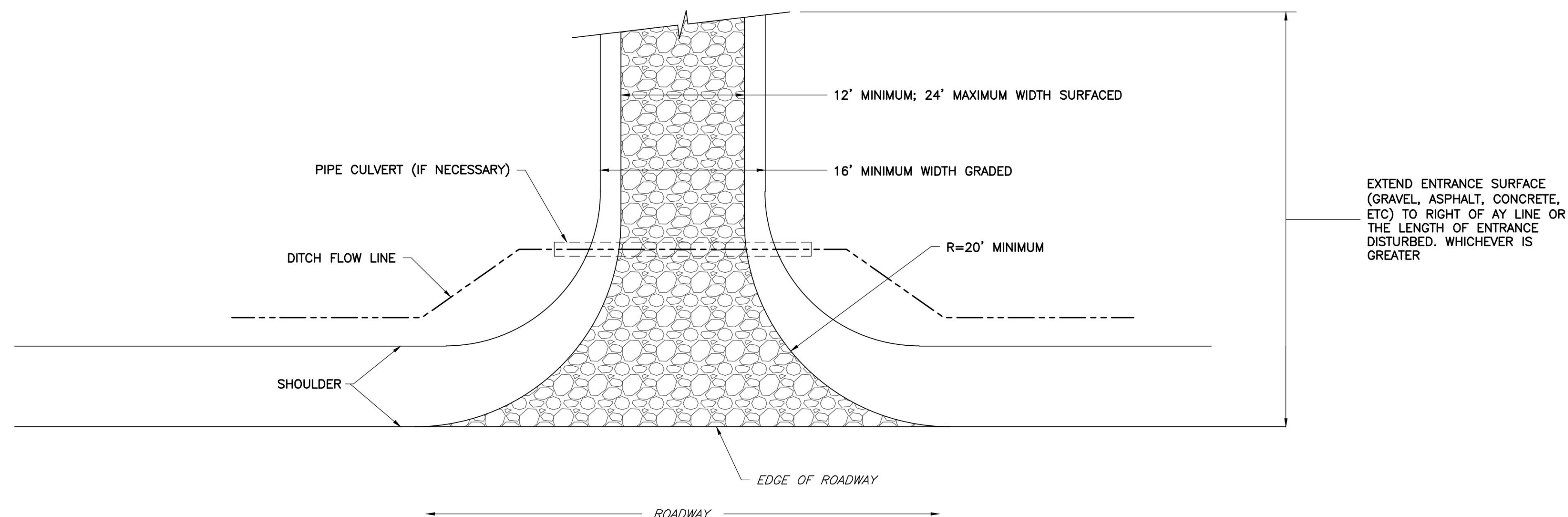
TP



**NOTES:**

1. INSTALL SILT FENCE DOWNSLOPE OF AREA OF STOCKPILE.
2. PLACE STOCKPILE IN AREAS SHOWN ON EROSION CONTROL PLAN WITHOUT BLOCKING NATURAL DRAINAGE PATTERNS.
3. FOLLOW DIMENSIONS SHOWN ABOVE. HEIGHT SHOULD NOT EXCEED 35 FT. SIDE SLOPES SHOULD NOT BE STEEPER THAN 2(H):1(V).
4. SEED IMMEDIATELY IF MATERIAL IS NOT TO BE USED WITHIN 20 DAYS. FOLLOW "SEEDING, FERTILIZATION SCHEDULE & SPECIFICATIONS."
5. LOCATION(S) AND SIZE(S) OF SOIL STOCKPILES ARE APPROXIMATE AND SHALL BE ADJUSTED PER FIELD AND CONSTRUCTION SEQUENCE CONDITIONS. CONTRACTOR SHALL VERIFY REQUIRED SIZE(S). REQUIREMENTS FROM THE STANDARDS DETAIL MUST BE FOLLOWED FOR STOCKPILES.

4 TOPSOIL STOCKPILE AND MAINTENANCE  
ES-3 NTS



5 PRIVATE ENTRANCE AND LOW VOLUME COMMERCIAL ENTRANCE DETAIL  
ES-3 NTS

ENGINEER

APPLICANT

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER

**NB+C**  
TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.  
120 EASTSHORE DRIVE, SUITE 300  
GLEN ALLEN, VA 23059  
(804) 448-4070

**verizon**

1831 RADY COURT  
RICHMOND, VA 23222

BATESVILLE  
VERIZON NEW BUILD  
1516 BURCHS CREEK RD  
BATESVILLE, VA 22924  
ALBEMARLE COUNTY

**REVISIONS**

REV	DATE	DESCRIPTION	BY
2	05/31/22	REVISED	KLB
1	11/01/21	FINALS	KLB
0	10/18/21	PRELIMINARY ZDs	KLB



JOHN A. DAUGHTREY III, P.E.  
VA PROFESSIONAL ENGINEER LIC. #052122

**EROSION &  
SEDIMENT  
CONTROL DETAILS**

**ES-3**