



COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION

1601 Orange Road
Culpeper, Virginia 22701

Stephen C. Brich, P.E.
Commissioner

DATE: May 6th, 2024

TO: Sean Nelson, P.E.
District Engineer

FROM: John Rose, P.E.
Project Manager

PROJECT: US 250 (Richmond Road) Intersection & Corridor Improvements
from Route 20 to Hansen Road
State Project # 0250-002-030
Albemarle County
UPC: 123044

SUBJECT: **Recommendation re: Bicycle and Pedestrian Accommodations**

The Commonwealth Transportation Board's "*Policy for Integrating Bicycle and Pedestrian Accommodations*" requires the project manager and local representatives to develop a recommendation on how and whether to accommodate bicyclists and pedestrians in a construction project prior to the public hearing.

For the above referenced construction project, it is my recommendation that the following bicycle and pedestrian accommodations be included:

Bicycle Accommodations

At the US 250 / Rte. 20 intersection, a 5 ft. wide keyhole bike lane will be provided between the westbound thru lane and westbound right turn lane. The SMART Scale application submitted for the project by Albemarle County did not include any additional bicycle accommodations. See attached email from Albemarle County dated June 15th 2020.

Pedestrian Accommodations Recommended With This Project

To better accommodate pedestrians crossing Rte. 20 (Stony Point Road) and Rte. 1116 (Riverbend Drive), the project will provide new marked pedestrian crosswalks on both the north and south side of US 250. New pedestrian signals will be provided for these crosswalks, and existing non-compliant curb ramps will be reconstructed in accordance with ADA standards.

North of US 250, a new 5 ft. wide sidewalk with a 2 ft. buffer strip will be constructed along the west side of Rte. 20 (Stony Point Road) from US 250 to the north side of the McDonald's entrance, where it will tie into existing sidewalk at approximate Sta. 54+72 with new ADA compliant curb ramps at the McDonald's entrance. This sidewalk will complete the pedestrian access route from US 250 to Riverside Shops Way.

South of US 250, new sidewalk and ADA compliant curb ramps will be constructed along the west side of the Rte. 1116 (Riverbend Drive) from US 250 south to the combined East Garden / Taco Bell entrance along with new ADA compliant curb ramps at the combined entrance Taco Bell / Baskin Robbins entrance.

To better accommodate pedestrians crossing US 250, the project will provide a new marked pedestrian crosswalk on the east side of Route 20. New pedestrian signals will be provided for this crosswalk, and existing non-compliant curb ramps will be reconstructed in accordance with ADA standards. **A pedestrian crosswalk on the west side of Rte. 20 will not be provided as it would negatively impact the level of service of the US 250 / Rte. 20 intersection.**

The addition of the westbound right turn lane from US 250 to Rte. 20 northbound will require relocation of approximately 250 ft. of sidewalk along the north side of US 250. The new sidewalk will tie into existing sidewalk at approximate Sta. 212+08 Lt.

Along the south side of US 250 (along the frontage of the Clean Machine Car Wash site), the existing railing behind the sidewalk will be removed and replaced with VDOT Standard HR-1 handrail.

New sidewalk will be constructed along the south side of US 250 from approximate Sta. 231+77 to Sta. 234+93.

Existing non-compliant curb ramps that lie within existing VDOT right of way and which will not require the acquisition of additional right of way to reconstruct them will be reconstructed in accordance with VDOT, PROWAG, and ADA Standards. The specific location for the existing curb ramps that will be upgraded as part of this project are listed in Table 1 and shown on the attached Exhibits 2 and 3.

Existing commercial entrances along US 250 and Rte. 20 will not be reconstructed solely for the purpose of meeting ADA / PROWAG standards.

Two existing commercial entrances located within VDOT right of way along US 250 at Sta. 213+75 LT. and Sta. 230+25 Lt. will be removed and reconstructed with new sidewalk and curb and gutter since they are no longer used by the business.

Table 1: Existing Curb Ramps Not Meeting Current Standards & Will be Upgraded as Part of This Project:

Curb Ramp No.	Entrance Location	Station Baseline	Station	Side
CR 1	Free Bridge Lane (Radius)	Route 250	200+94	LT
CR 2	Free Bridge Lane (Radius)	Route 250	201+59	LT
CR 3	Newhouse Drive (Radius)	Route 250	202+66	RT
CR 4	Newhouse Drive (Radius)	Route 250	201+97	RT
CR 5	Route 250/20 Intersection (Radius)	Route 250	208+31	LT
CR 6	Route 250/20 Intersection (Radius)	Route 250	209+51	LT
CR 7	Route 250/20 Intersection (Radius)	Route 250	209+13	RT
CR 8	Route 250/20 Intersection (Radius)	Route 250	208+18	LT
CR9	Riverbend Drive Bank (Radius)	Route 1116	35+39	LT
CR 10	Riverbend Drive Bank (Radius)	Route 1116	35+01	LT
CR 11	Riverbend Drive Bank (Internal)	Route 1116	34+90	LT
CR 12	Riverbend Drive Taco Bell (Radius)	Route 1116	33+4	LT
CR 13	Riverbend Drive Taco Bell (Radius)	Route 1116	33+06	LT
CR 14	Riverbend Drive Duncan (Radius)	Route 1116	32+05	LT
CR 15	Riverbend Drive Duncan (Radius)	Route 1116	31+72	LT
CR 16	Pantops Corner Way (Radius)	Route 250	214+16	LT
CR 17	Pantops Corner Way (Radius)	Route 250	214+47	LT
CR 18	Pantops Corner Way (Radius)	Route 250	214+70	LT
CR 19	Pantops Corner Way (Radius)	Route 250	215+03	LT
CR 20	Peoples Place (Radius)	Route 250	214+12	RT
CR 34	Tip Top (Radius)	Route 250	232+44	LT
CR 35	Tip Top (Radius)	Route 250	233+10	LT
CR 36	Carmax (Radius)	Route 250	233+70	LT
CR 37	Carmax (Radius)	Route 250	234+36	LT
CR 38	School (Radius)	Route 250	236+86	LT
CR 39	School (Radius)	Route 250	237+37	LT
CR 40	Hanson Road (Radius)	Route 250	236+90	RT
CR 41	Hanson Road (Radius)	Route 250	237+23	RT
CR 42	Hanson Road (Radius)	Route 250	237+52	RT

Pedestrian Accommodations Not Recommended With This Project

The Engineer of Record for the project has identified several locations where, based on the survey provided by VDOT, the existing sidewalk is partially or completely outside of the existing VDOT right of way, or improvements to address deficiencies would require the acquisition of additional right of way. These locations are shaded in red on the attached Exhibit 1.

Right of way acquisition solely for the purpose of bringing these existing sidewalks and curb ramps into VDOT right of way was not included in the SMART Scale application for the project.

Therefore, those curb ramps that are outside of VDOT right of way, and which require significant additional right of way to upgrade, will not be upgraded as part of this project. The specific locations for the existing curb ramps that do not meet current standards, and which will not be upgraded, are listed in Table 2 and shown on the attached Exhibits 2 and 3.

Table 2: Existing Curb Ramps Not Meeting Current Standards & Not Being Upgraded as Part of This Project

Curb Ramp No.	Entrance Location	Station Baseline	Station	Side
CR 21	Peoples Place (Rte. 1298) (Radius)	Route 250	214+82	RT
CR 22	Flow BMW Entrance (Radius)	Route 250	216+33	RT
CR 23	Flow BMW Entrance (Radius)	Route 250	217+11	RT
CR 26	Flow Hyundai West Entrance (Radius)	Route 250	220+75	RT
CR 27	Flow Hyundai West Entrance (Radius)	Route 250	221+41	RT
CR 30	Flow Hyundai East Entrance (Radius)	Route 250	222+36	RT
CR 31	Flow Hyundai East Entrance (Radius)	Route 250	222+97	RT
CR 32	Town and Country Lane (Rte. 1776) (Radius)	Route 250	223+41	LT
CR 33	Town and Country Lane (Rte. 1776) (Radius)	Route 250	224+25	LT

Albemarle County Concurrence

Albemarle County concurs with the proposed bicycle and pedestrian accommodations to be included in the project and is aware of the locations where VDOT has determined that upgrades to the existing sidewalk and curb ramps are unable to be completed as part of the US 250 Intersection and Corridor Improvements Project (UPC 123044). These nine curb ramps have been reviewed by staff and it has been confirmed that at each of the locations a pedestrian ramp with some form of detectable warning surface exists which provides access to the sidewalk. In addition, Albemarle County is currently coordinating with landowners and VDOT to improve four of those nine curb ramps (CR26, CR27, CR30, and CR31) to meet current standards and will continue to work with VDOT to find cost effective ways to upgrade the remaining curb ramps and bring sidewalks into the public right of way as part of the site plan approval process for future projects along the corridor.

Name:

Date:

Title:

District Engineer Confirmation

I concur with the above recommendations from the Project Manager and local representatives on how to accommodate bicyclist and pedestrians in the subject construction project.

Sean Nelson, P.E.
District Engineer

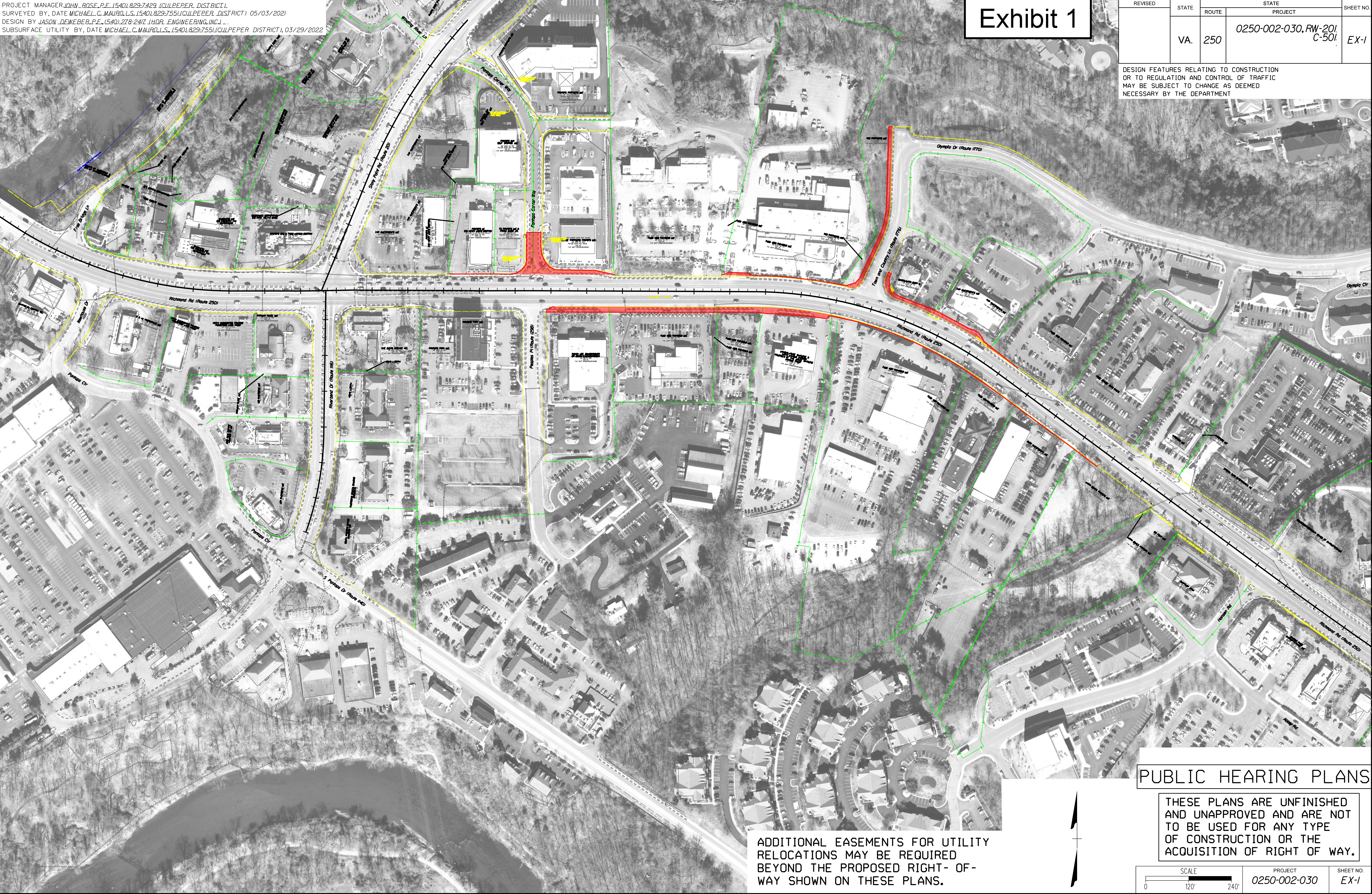
Date:

PROJECT MANAGER: JOHN ROSE, P.E. (540) 829-7429 (CULPEPER DISTRICT)
SURVEYED BY: DATE MICHAEL C. MAURO, L.S. (540) 829-7551 (CULPEPER DISTRICT) 05/03/2021
DESIGN BY: JASON DEWEBER, P.E. (540) 278-2417 (HDR ENGINEERING, INC.)
SUBSURFACE UTILITY BY: DATE MICHAEL C. MAURO, L.S. (540) 829-7551 (CULPEPER DISTRICT) 03/29/2022

Exhibit 1

REVISED	STATE	ROUTE	STATE PROJECT	SHEET NO.
	VA.	250	0250-002-030, RW-201 C-501	EX-1

DESIGN FEATURES RELATING TO CONSTRUCTION
OR TO REGULATION AND CONTROL OF TRAFFIC
MAY BE SUBJECT TO CHANGE AS DEEMED
NECESSARY BY THE DEPARTMENT

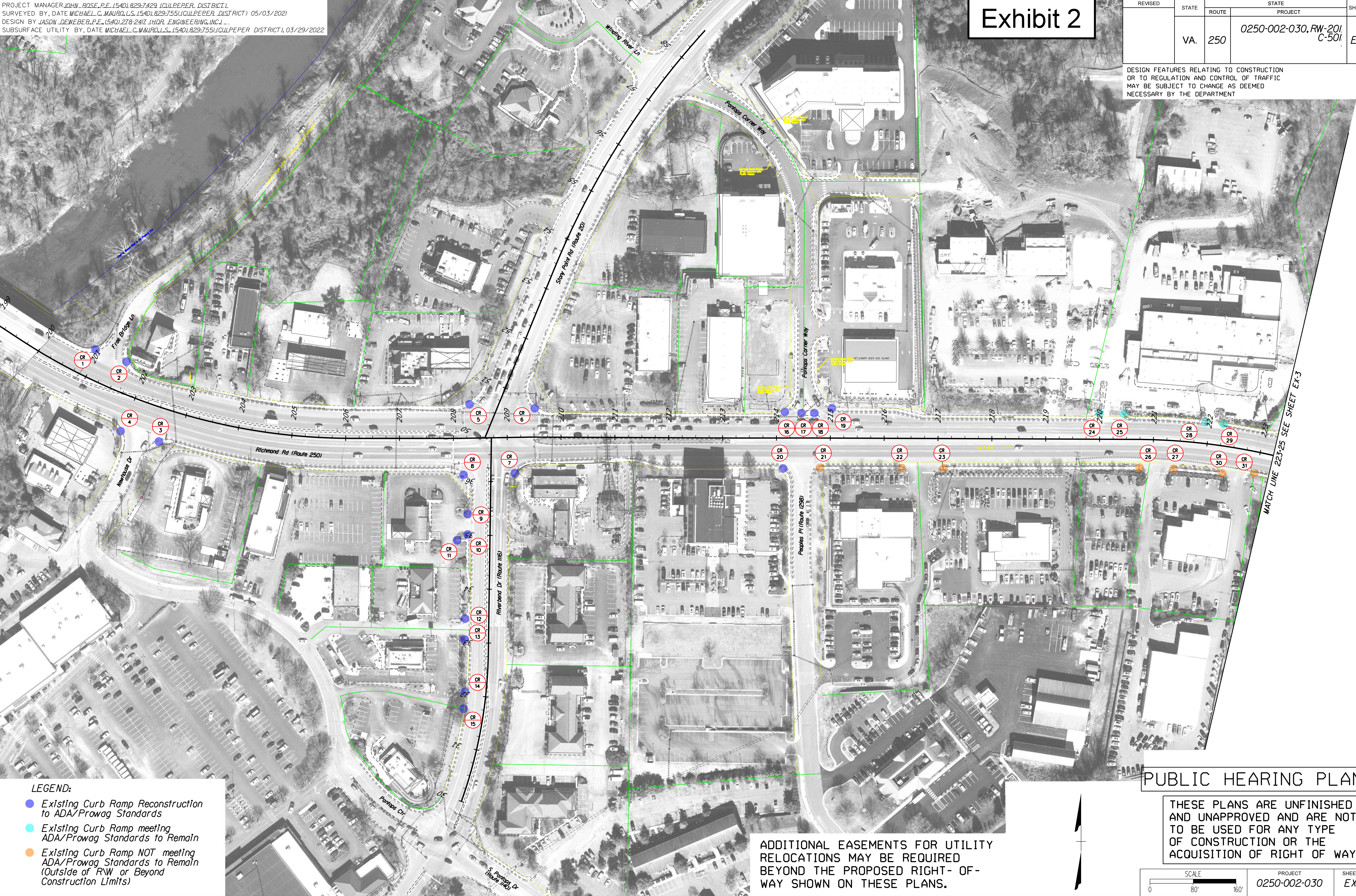


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Exhibit 2

REVISED	STATE	ROUTE	STATE PROJECT	SHEET NO.
	VA.	250	0250-002-030, RW-201 C-501	EX-2

DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE DEPARTMENT



LEGEND:

- Existing Curb Ramp Reconstruction to ADA/Prowag Standards
- Existing Curb Ramp meeting ADA/Prowag Standards to Remain
- Existing Curb Ramp NOT meeting ADA/Prowag Standards to Remain (Outside of RW or Beyond Construction Limits)

ADDITIONAL EASEMENTS FOR UTILITY RELOCATIONS MAY BE REQUIRED BEYOND THE PROPOSED RIGHT- OF- WAY SHOWN ON THESE PLANS.

PUBLIC HEARING PLANS

THESE PLANS ARE UNFINISHED AND UNAPPROVED AND ARE NOT TO BE USED FOR ANY TYPE OF CONSTRUCTION OR THE ACQUISITION OF RIGHT OF WAY.

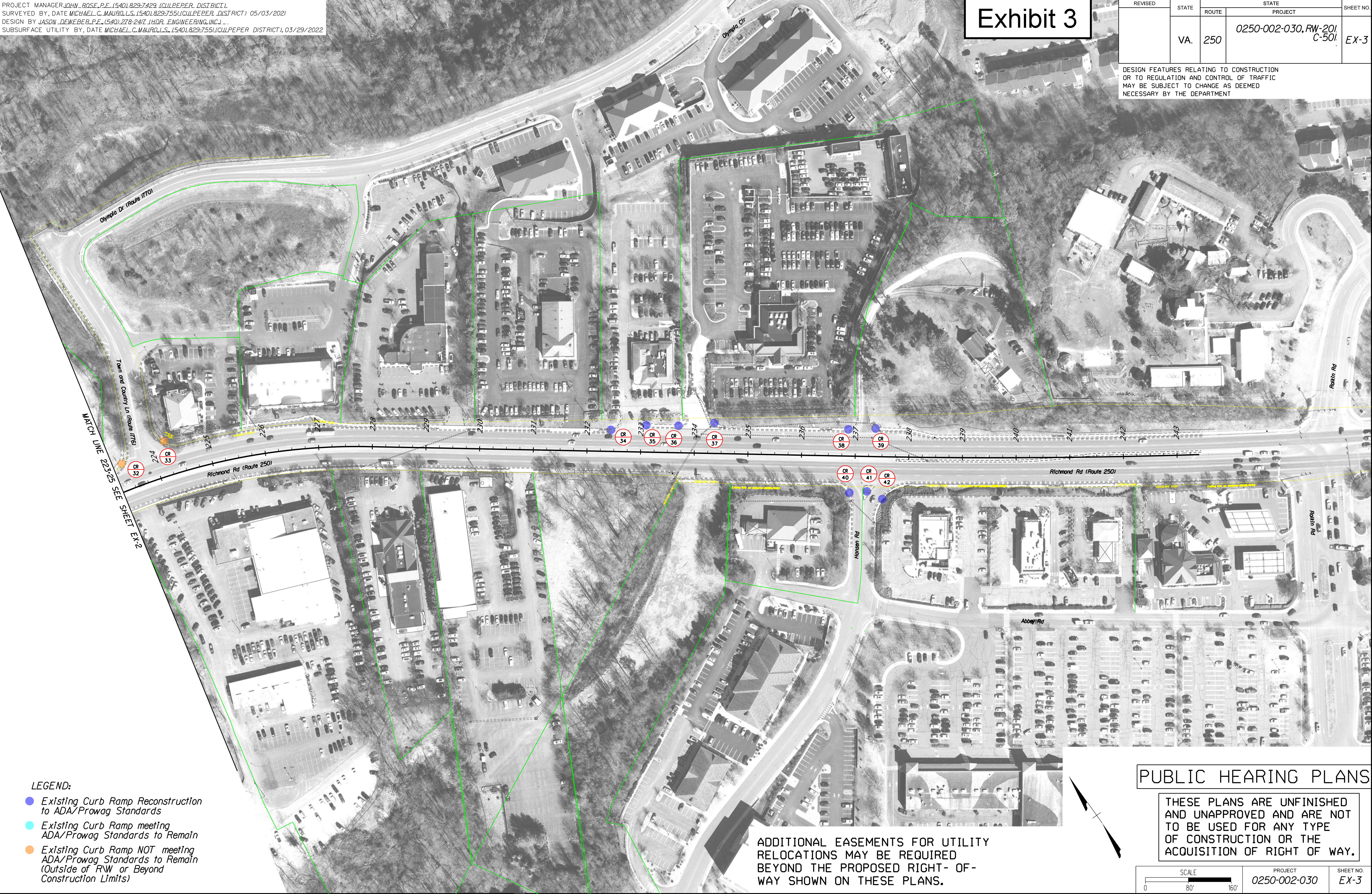
SCALE	PROJECT	SHEET NO.
0 80' 160'	0250-002-030	EX-2

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Exhibit 3

REVISED	STATE	ROUTE	STATE PROJECT	SHEET NO.
	VA.	250	0250-002-030, RW-201 C-501	EX-3

DESIGN FEATURES RELATING TO CONSTRUCTION
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LEGEND:

- Existing Curb Ramp Reconstruction to ADA/Prowag Standards
- Existing Curb Ramp meeting ADA/Prowag Standards to Remain
- Existing Curb Ramp NOT meeting ADA/Prowag Standards to Remain (Outside of RW or Beyond Construction Limits)

ADDITIONAL EASEMENTS FOR UTILITY
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