

REZONING APPLICATION FOR SOUTHWOOD PHASE II REDEVELOPMENT

NEIGHBORHOOD MODEL DISTRICT
ZMA202100013

ALBEMARLE COUNTY, VIRGINIA
10/18/2021

PROPERTY INFORMATION:

TAX MAP PARCELS:
090A1-00-00-001D0, 090A1-00-00-001C0, & 090A0-00-00-00400

LEGAL REFERENCE:
DB 3375 PG 063

TOTAL ACREAGE:
93.33 AC

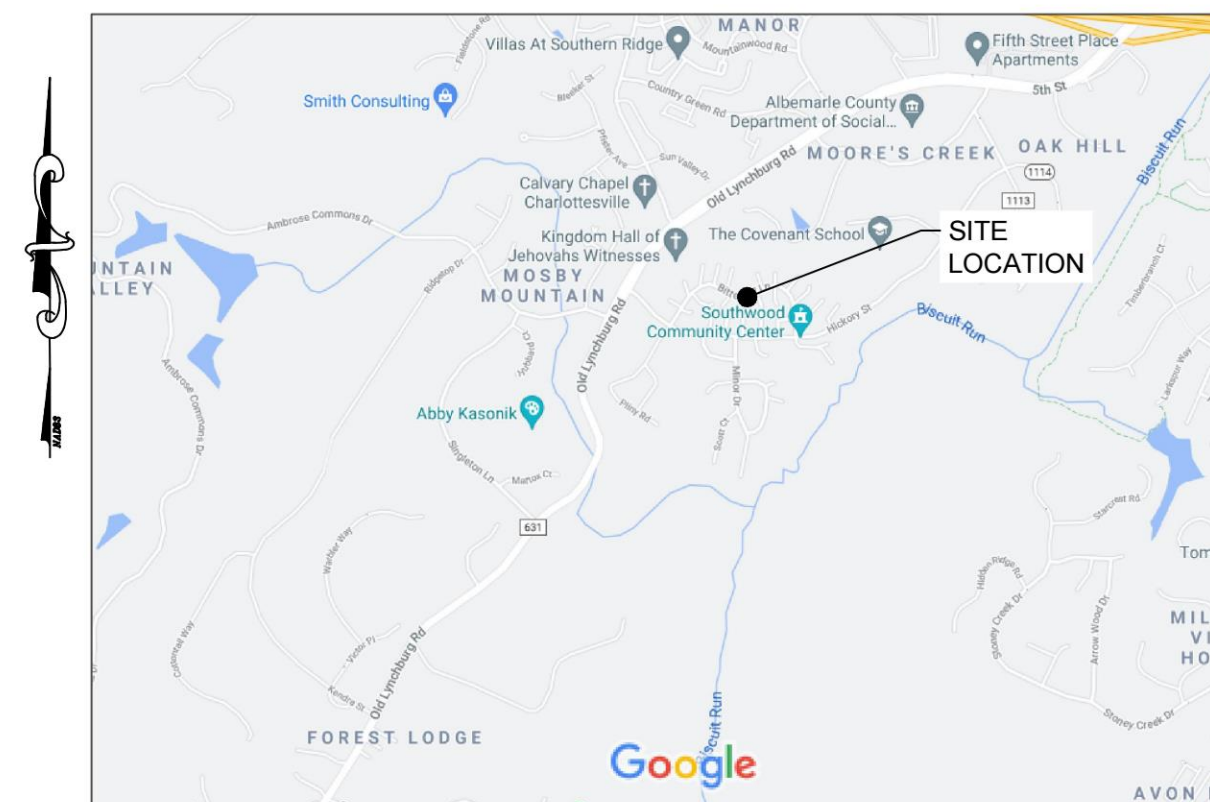
ALLOWABLE DENSITY:
UP TO 1,000 RESIDENTIAL UNITS
UP TO 60,000 SF OF NON-RESIDENTIAL SPACE

BASE INFORMATION:

BOUNDARY SOURCE:
ROUDABUSH, GALE & ASSOC., INC. 2020

TOPOGRAPHY SOURCE:
LOUISA AERIAL SURVEYS, INC. 2004 & 2007
PO BOX 340
MINERAL, VA 23117

PUBLIC WATER & SEWER SOURCE:
ALBEMARLE COUNTY SERVICE AUTHORITY



VICINITY MAP
1"=1000'

OWNER/DEVELOPER:
HABITAT FOR HUMANITY OF GREATER CHARLOTTESVILLE
SOUTHWOOD CHARLOTTESVILLE LLC
967 2ND ST. SE
CHARLOTTESVILLE, VA 22902
434-293-9066

ENGINEER OF RECORD:
TIMMONS GROUP
608 PRESTON AVE. SUITE 200
CHARLOTTESVILLE, VA 22903
434-295-5624

Sheet List Table	
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C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	APPLICATION & GREEN SPACE PLAN
C3.0	INFRASTRUCTURE PLAN
C4.0	TYPICAL ROAD SECTIONS
C5.0	CONCEPTUAL GRADING PLAN
TOTAL: 6 SHEETS	

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YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
02/21/2022	REVISED PER COUNTY COMMENTS
06/27/2022	REVISED PER COUNTY COMMENTS

DATE
10/18/21

DRAWN BY
J.FOX

DESIGNED BY
J.FOX

CHECKED BY
C.KOTARSKI

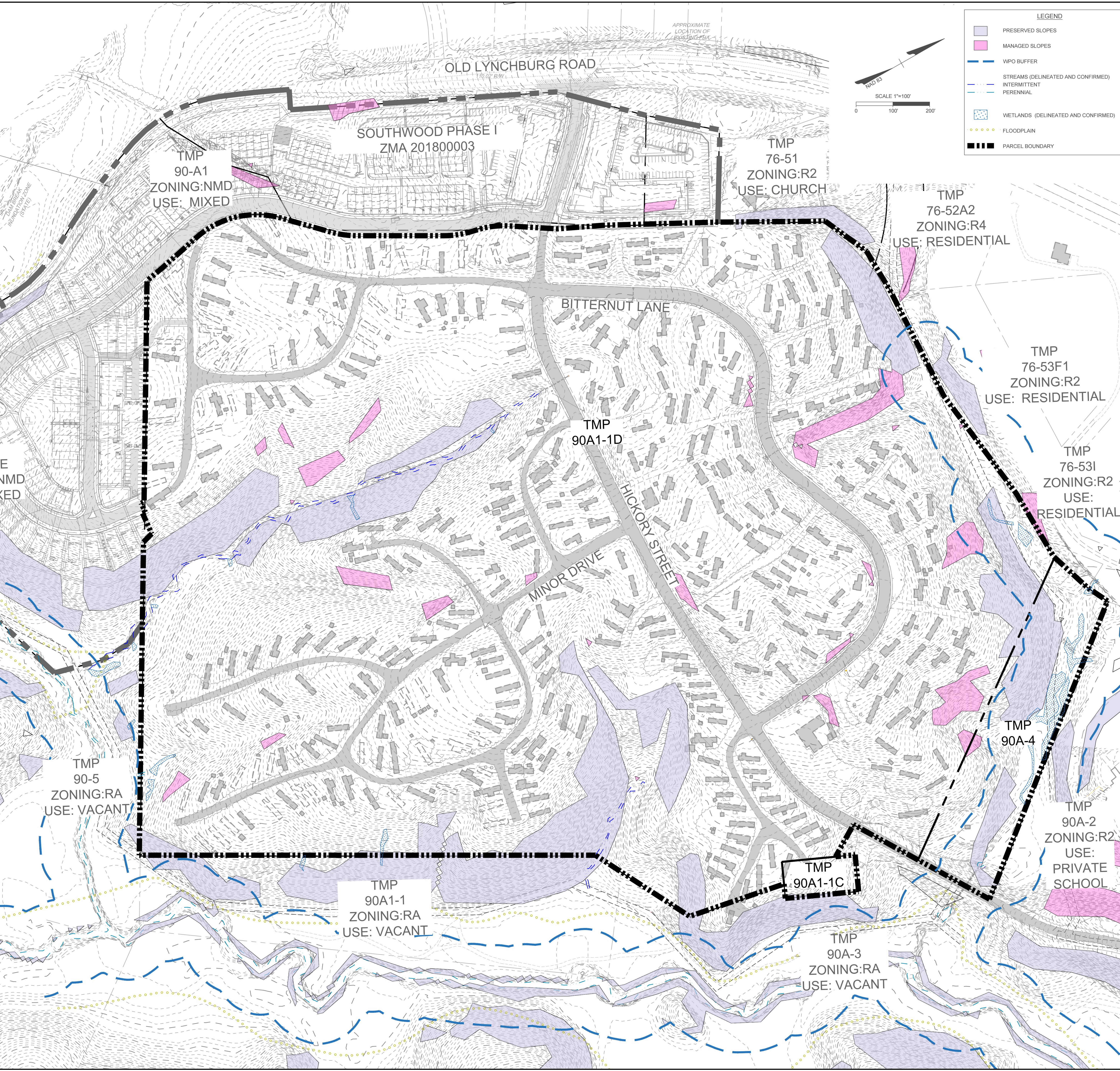
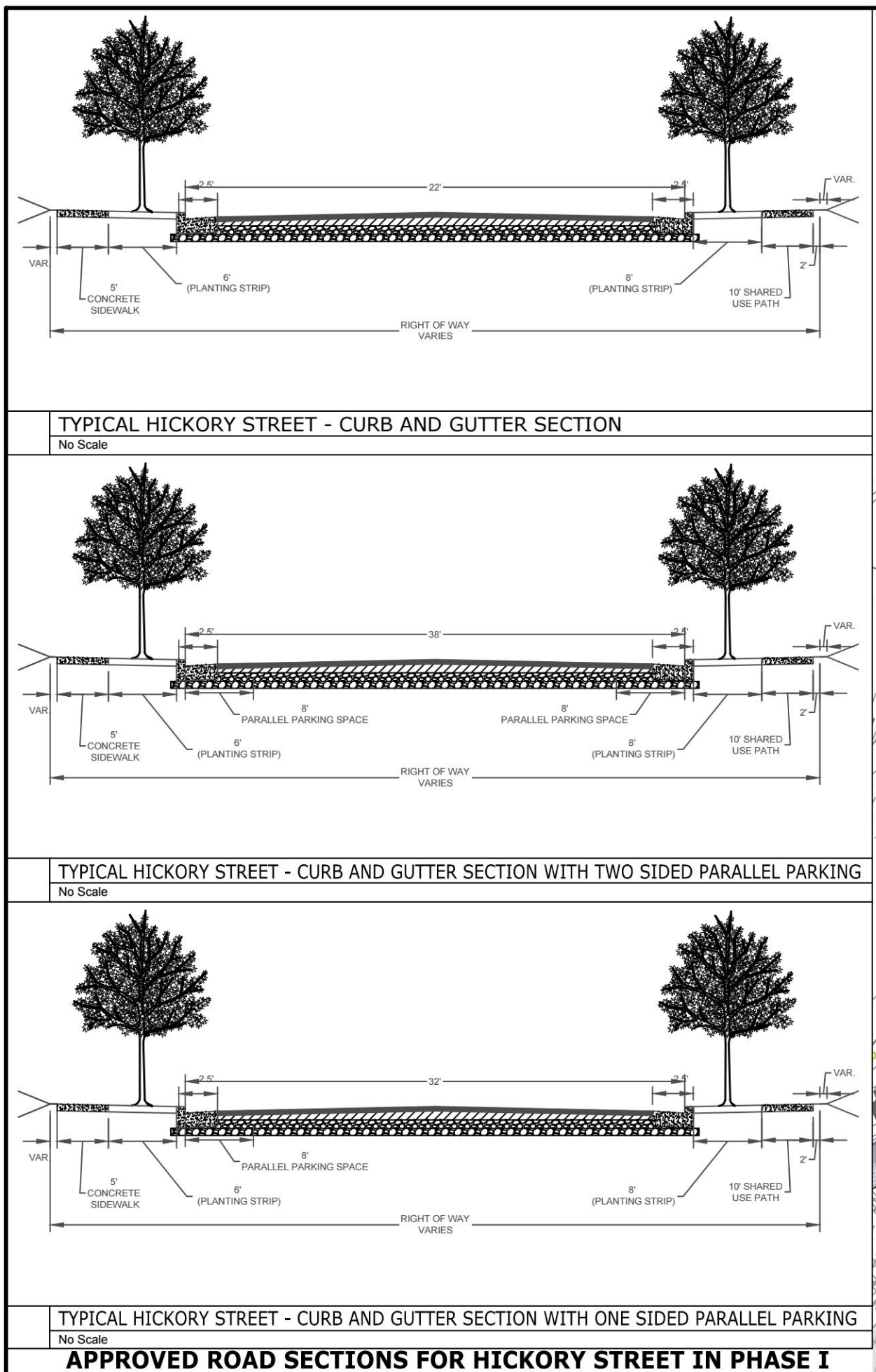
SCALE
N/A



SOUTHWOOD PHASE II REDEVELOPMENT
ALBEMARLE COUNTY, VA
COVER

JOB NO.
40919

SHEET NO.
C0.0



LEGEND

- PRESERVED SLOPES
- MANAGED SLOPES
- WPO BUFFER
- STREAMS (DELINEATED AND CONFIRMED)
- INTERMITTENT
- PERENNIAL
- WETLANDS (DELINEATED AND CONFIRMED)
- FLOODPLAIN
- PARCEL BOUNDARY

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SCALE
 1" = 100'

JOB NO.
40919

SHEET NO.
C1.0

EXISTING CONDITIONS

ALBEMARLE COUNTY, VA

SOUTHWOOD PHASE II REDEVELOPMENT

TIMMONS GROUP

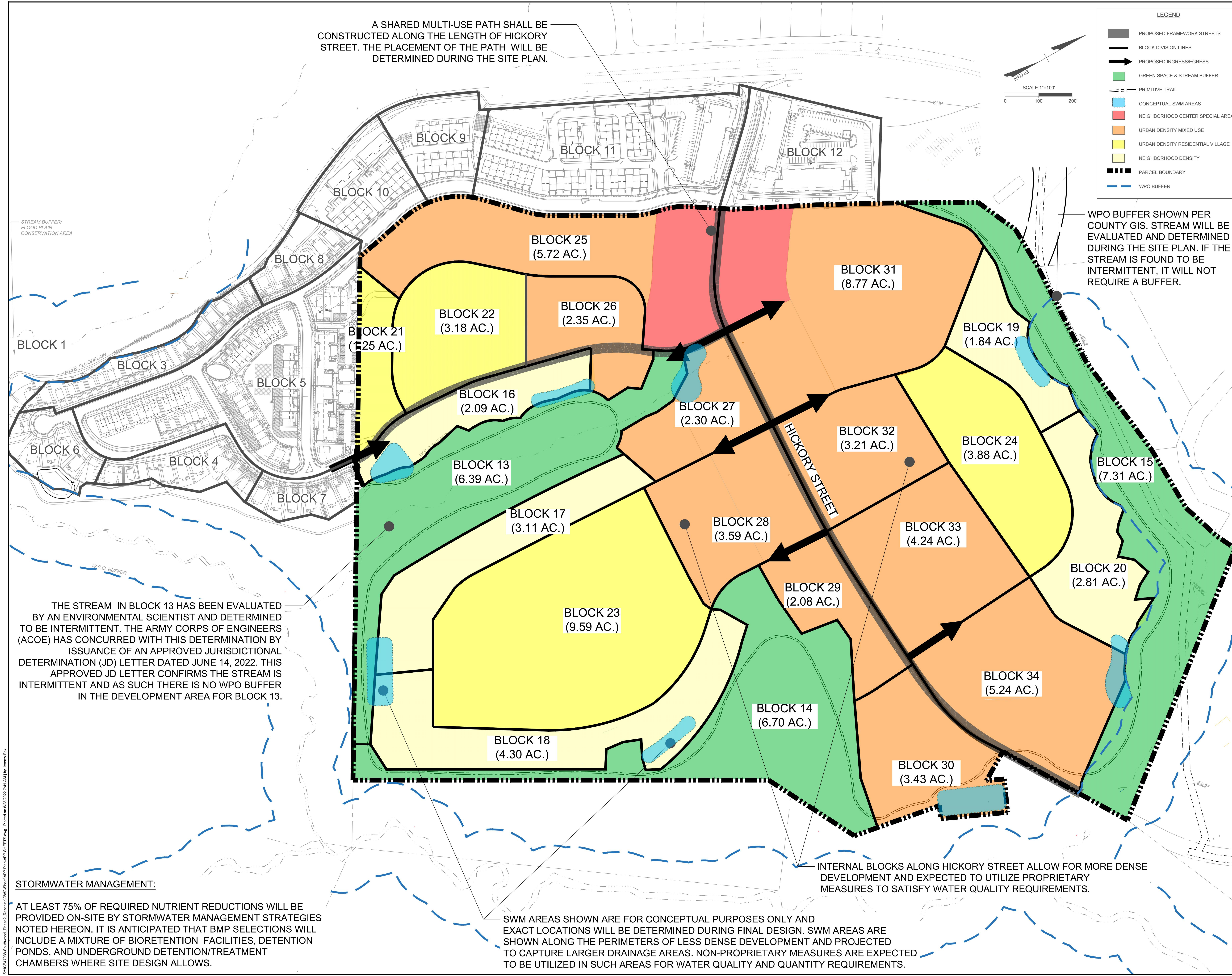
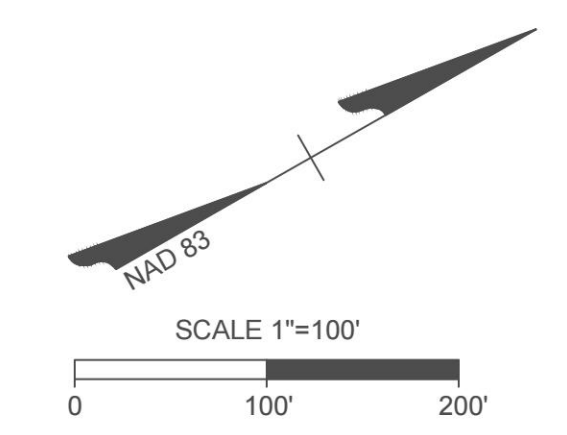
S:\04\1038_Southwood_Phase2_Rezoning\DWG\Sheets\APP_Plans\APP_SHEETS.dwg | Plotted on 6/27/2022 7:49 AM | Dr. Jeremy Fox

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A SHARED MULTI-USE PATH SHALL BE CONSTRUCTED ALONG THE LENGTH OF HICKORY STREET. THE PLACEMENT OF THE PATH WILL BE DETERMINED DURING THE SITE PLAN.

LEGEND

- PROPOSED FRAMEWORK STREETS
- BLOCK DIVISION LINES
- PROPOSED INGRESS/EGRESS
- GREEN SPACE & STREAM BUFFER
- PRIMITIVE TRAIL
- CONCEPTUAL SWM AREAS
- NEIGHBORHOOD CENTER SPECIAL AREA
- URBAN DENSITY MIXED USE
- URBAN DENSITY RESIDENTIAL VILLAGE
- NEIGHBORHOOD DENSITY
- PARCEL BOUNDARY
- WPO BUFFER



WPO BUFFER SHOWN PER COUNTY GIS. STREAM WILL BE EVALUATED AND DETERMINED DURING THE SITE PLAN. IF THE STREAM IS FOUND TO BE INTERMITTENT, IT WILL NOT REQUIRE A BUFFER.

THE STREAM IN BLOCK 13 HAS BEEN EVALUATED BY AN ENVIRONMENTAL SCIENTIST AND DETERMINED TO BE INTERMITTENT. THE ARMY CORPS OF ENGINEERS (ACOE) HAS CONCURRED WITH THIS DETERMINATION BY ISSUANCE OF AN APPROVED JURISDICTIONAL DETERMINATION (JD) LETTER DATED JUNE 14, 2022. THIS APPROVED JD LETTER CONFIRMS THE STREAM IS INTERMITTENT AND AS SUCH THERE IS NO WPO BUFFER IN THE DEVELOPMENT AREA FOR BLOCK 13.

STORMWATER MANAGEMENT:

AT LEAST 75% OF REQUIRED NUTRIENT REDUCTIONS WILL BE PROVIDED ON-SITE BY STORMWATER MANAGEMENT STRATEGIES NOTED HEREON. IT IS ANTICIPATED THAT BMP SELECTIONS WILL INCLUDE A MIXTURE OF BIORETENTION FACILITIES, DETENTION PONDS, AND UNDERGROUND DETENTION/TREATMENT CHAMBERS WHERE SITE DESIGN ALLOWS.

SWM AREAS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY AND EXACT LOCATIONS WILL BE DETERMINED DURING FINAL DESIGN. SWM AREAS ARE SHOWN ALONG THE PERIMETERS OF LESS DENSE DEVELOPMENT AND PROJECTED TO CAPTURE LARGER DRAINAGE AREAS. NON-PROPRIETARY MEASURES ARE EXPECTED TO BE UTILIZED IN SUCH AREAS FOR WATER QUALITY AND QUANTITY REQUIREMENTS.

INTERNAL BLOCKS ALONG HICKORY STREET ALLOW FOR MORE DENSE DEVELOPMENT AND EXPECTED TO UTILIZE PROPRIETARY MEASURES TO SATISFY WATER QUALITY REQUIREMENTS.

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SCALE	1"=100'

TIMMONS GROUP

SOUTHWOOD PHASE II REDEVELOPMENT
ALBEMARLE COUNTY, VA

APPLICATION & GREEN SPACE PLAN

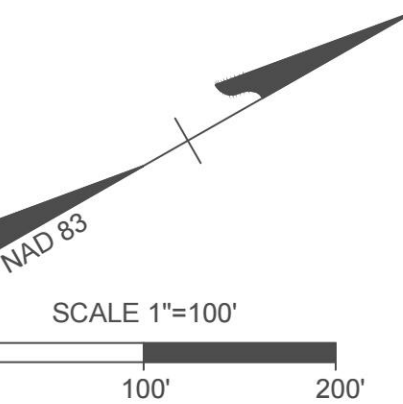
JOB NO. 40919
SHEET NO. C2.0

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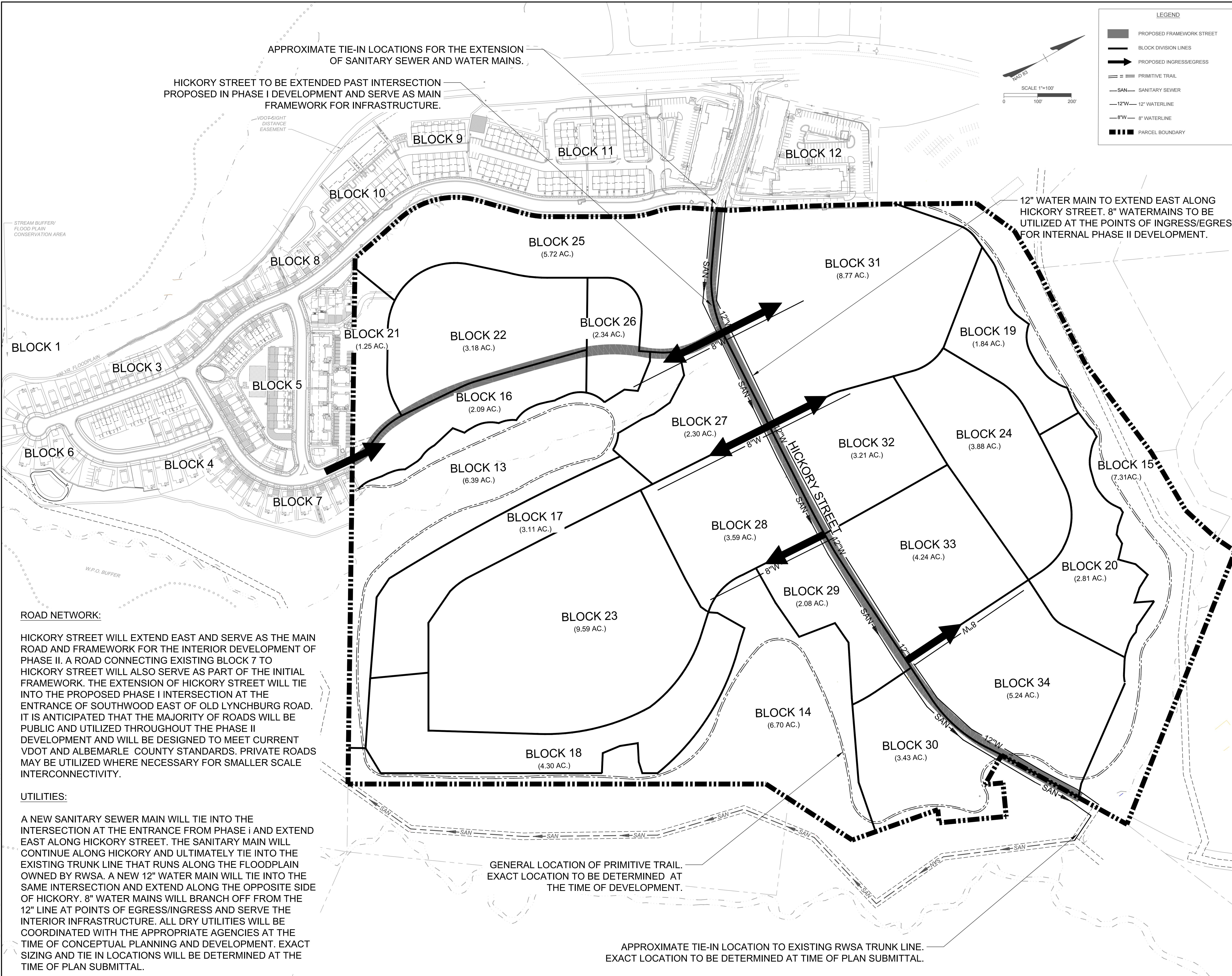
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APPROXIMATE TIE-IN LOCATIONS FOR THE EXTENSION OF SANITARY SEWER AND WATER MAINS.

HICKORY STREET TO BE EXTENDED PAST INTERSECTION PROPOSED IN PHASE I DEVELOPMENT AND SERVE AS MAIN FRAMEWORK FOR INFRASTRUCTURE.



LEGEND	
	PROPOSED FRAMEWORK STREET
	BLOCK DIVISION LINES
	PROPOSED INGRESS/EGRESS
	PRIMITIVE TRAIL
	SANITARY SEWER
	12" WATERLINE
	8" WATERLINE
	PARCEL BOUNDARY



12" WATER MAIN TO EXTEND EAST ALONG HICKORY STREET. 8" WATERMAINS TO BE UTILIZED AT THE POINTS OF INGRESS/EGRESS FOR INTERNAL PHASE II DEVELOPMENT.

GENERAL LOCATION OF PRIMITIVE TRAIL. EXACT LOCATION TO BE DETERMINED AT THE TIME OF DEVELOPMENT.

APPROXIMATE TIE-IN LOCATION TO EXISTING RWSA TRUNK LINE. EXACT LOCATION TO BE DETERMINED AT TIME OF PLAN SUBMITTAL.

ROAD NETWORK:

HICKORY STREET WILL EXTEND EAST AND SERVE AS THE MAIN ROAD AND FRAMEWORK FOR THE INTERIOR DEVELOPMENT OF PHASE II. A ROAD CONNECTING EXISTING BLOCK 7 TO HICKORY STREET WILL ALSO SERVE AS PART OF THE INITIAL FRAMEWORK. THE EXTENSION OF HICKORY STREET WILL TIE INTO THE PROPOSED PHASE I INTERSECTION AT THE ENTRANCE OF SOUTHWOOD EAST OF OLD LYNCHBURG ROAD. IT IS ANTICIPATED THAT THE MAJORITY OF ROADS WILL BE PUBLIC AND UTILIZED THROUGHOUT THE PHASE II DEVELOPMENT AND WILL BE DESIGNED TO MEET CURRENT VDOT AND ALBEMARLE COUNTY STANDARDS. PRIVATE ROADS MAY BE UTILIZED WHERE NECESSARY FOR SMALLER SCALE INTERCONNECTIVITY.

UTILITIES:

A NEW SANITARY SEWER MAIN WILL TIE INTO THE INTERSECTION AT THE ENTRANCE FROM PHASE I AND EXTEND EAST ALONG HICKORY STREET. THE SANITARY MAIN WILL CONTINUE ALONG HICKORY AND ULTIMATELY TIE INTO THE EXISTING TRUNK LINE THAT RUNS ALONG THE FLOODPLAIN OWNED BY RWSA. A NEW 12" WATER MAIN WILL TIE INTO THE SAME INTERSECTION AND EXTEND ALONG THE OPPOSITE SIDE OF HICKORY. 8" WATER MAINS WILL BRANCH OFF FROM THE 12" LINE AT POINTS OF EGRESS/INGRESS AND SERVE THE INTERIOR INFRASTRUCTURE. ALL DRY UTILITIES WILL BE COORDINATED WITH THE APPROPRIATE AGENCIES AT THE TIME OF CONCEPTUAL PLANNING AND DEVELOPMENT. EXACT SIZING AND TIE IN LOCATIONS WILL BE DETERMINED AT THE TIME OF PLAN SUBMITTAL.

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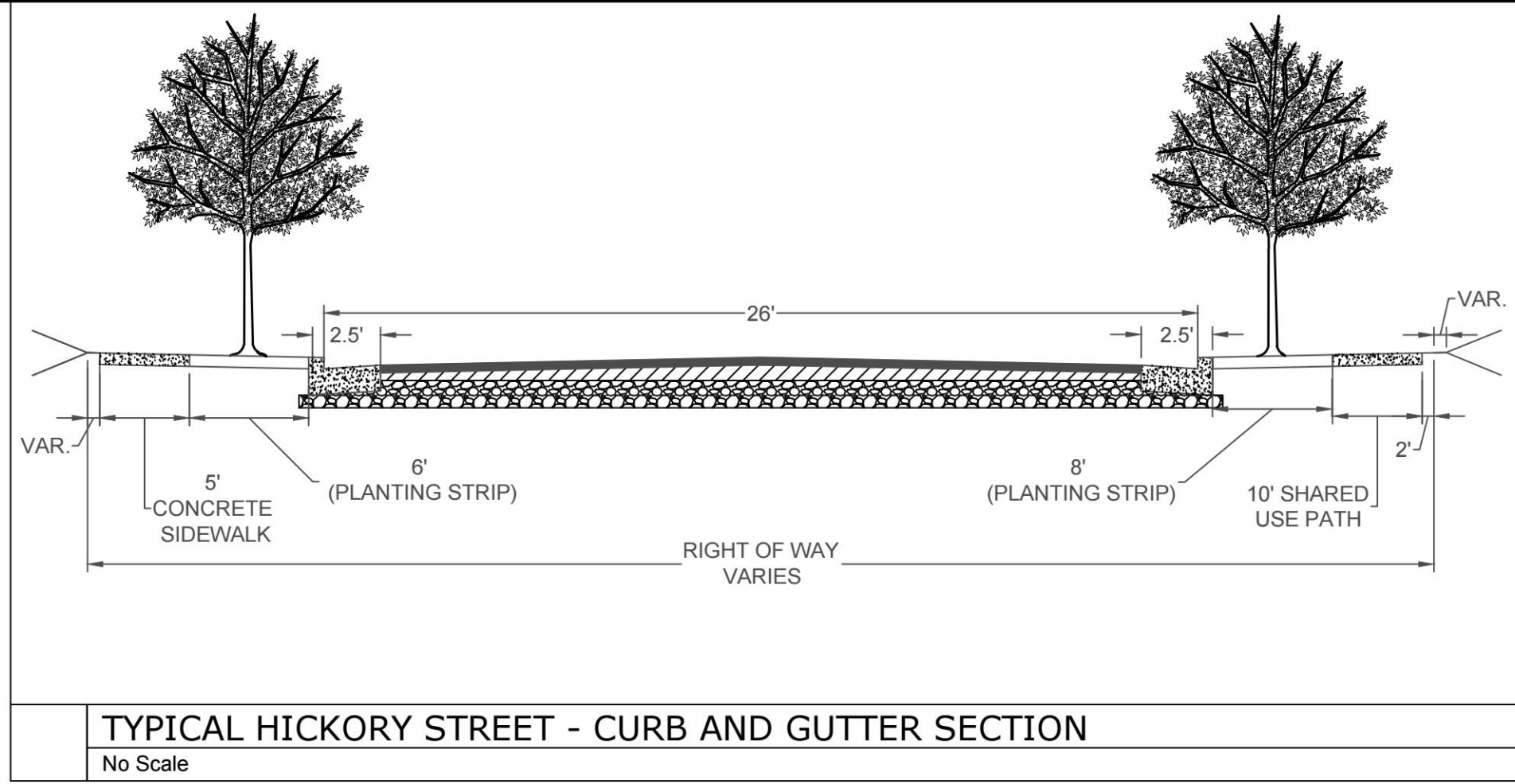
ALBEMARLE COUNTY, VA

SOUTHWOOD PHASE II REDEVELOPMENT

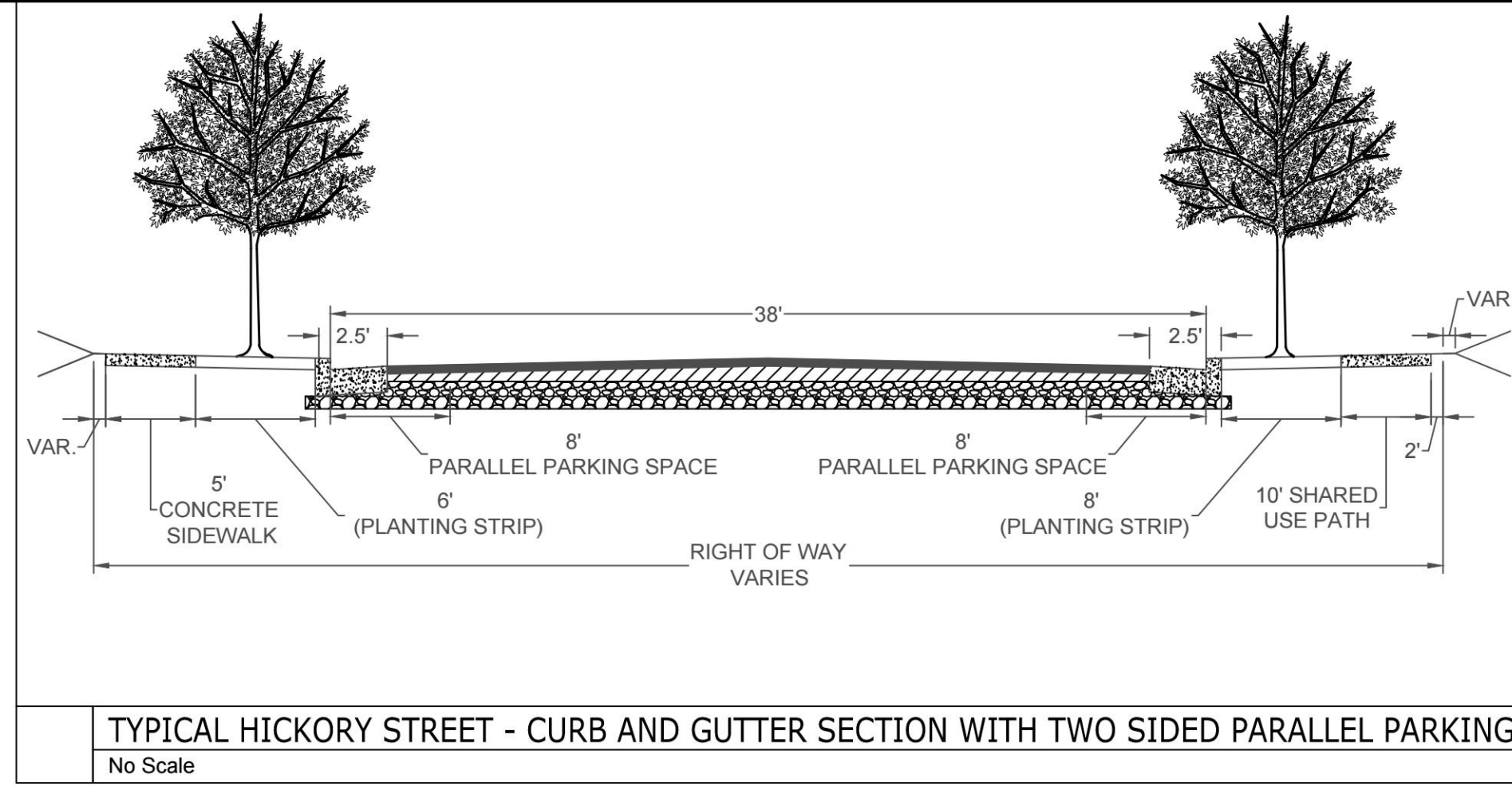
INFRASTRUCTURE PLAN

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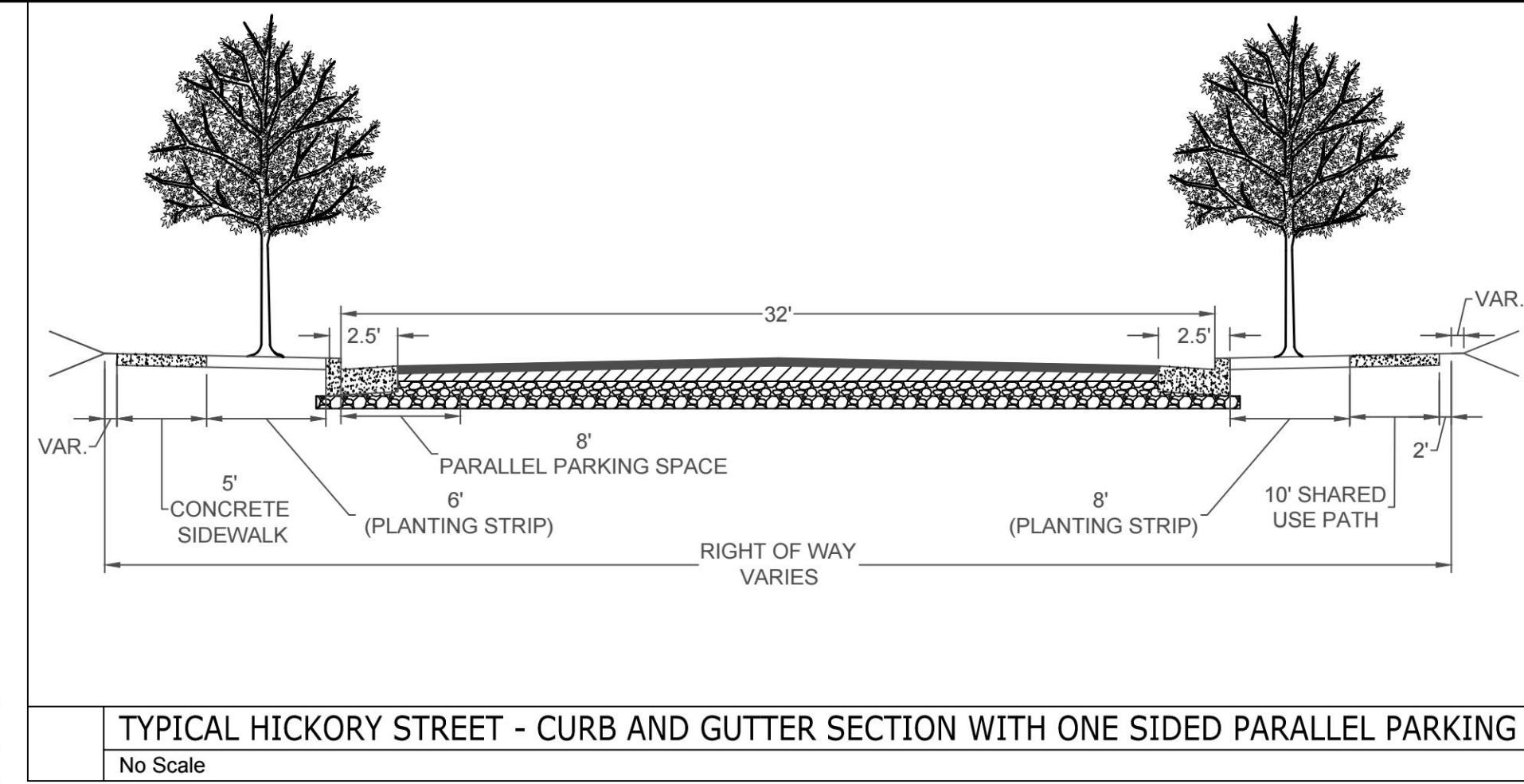
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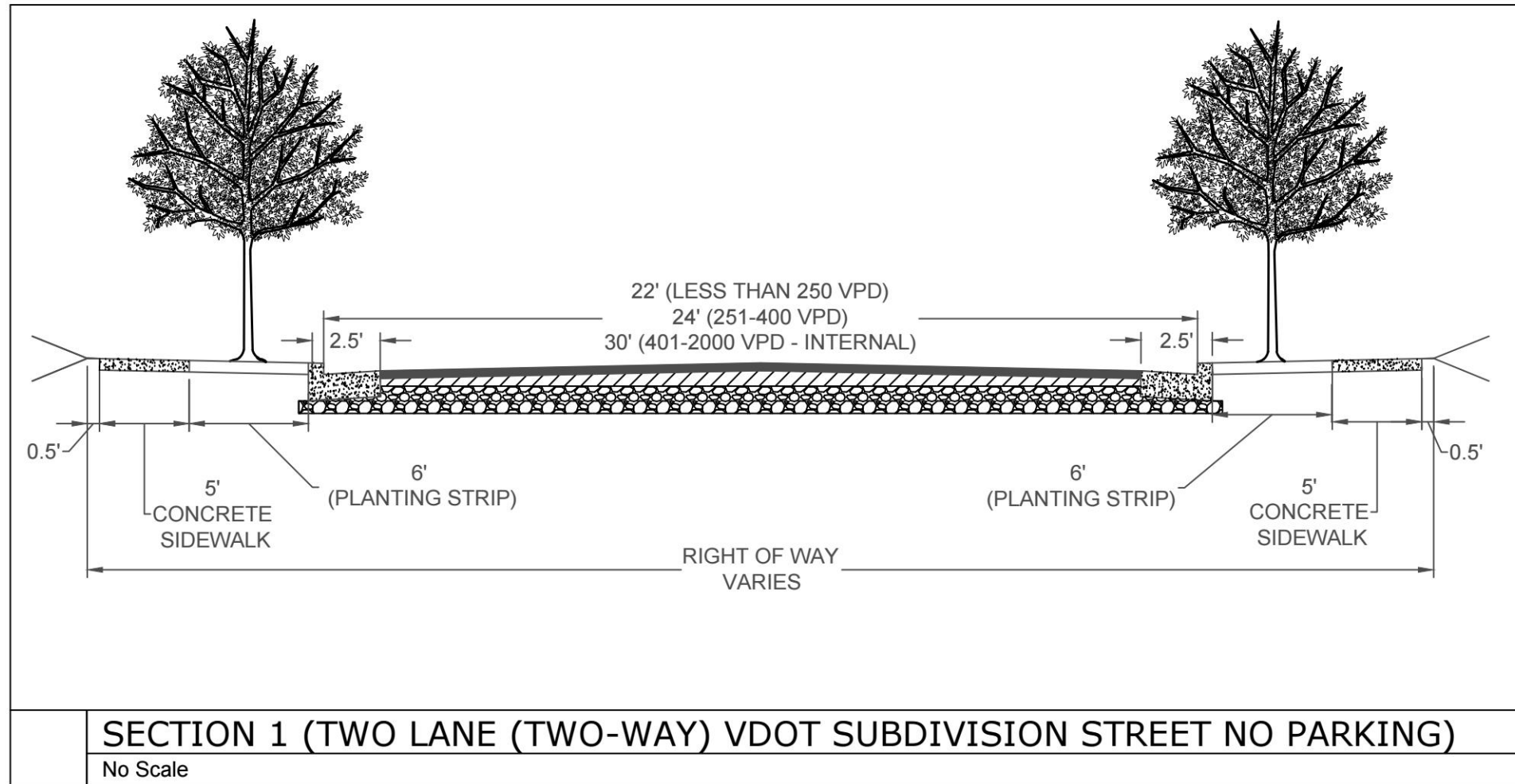
TYPICAL HICKORY STREET - CURB AND GUTTER SECTION
No Scale



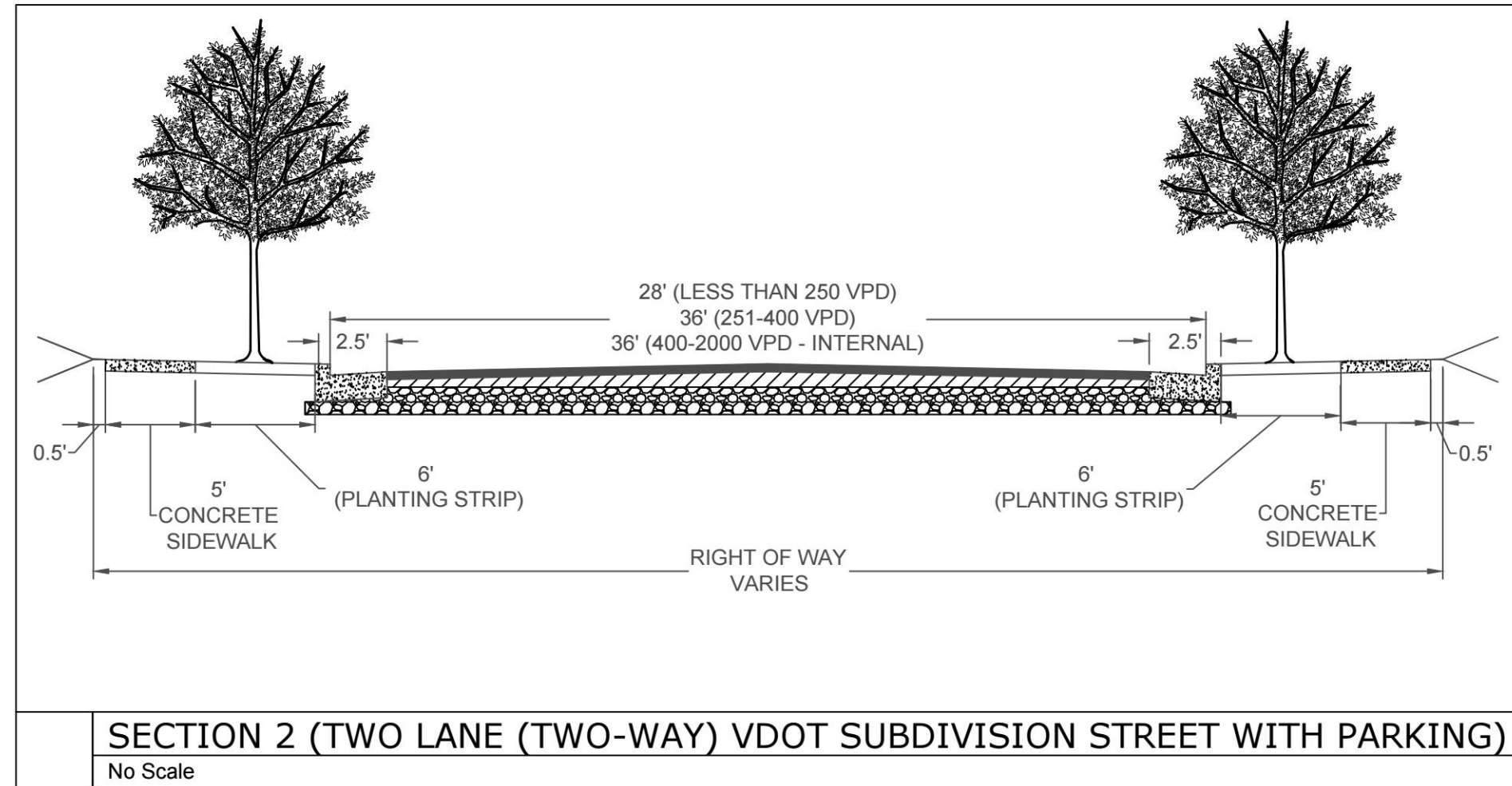
TYPICAL HICKORY STREET - CURB AND GUTTER SECTION WITH TWO SIDED PARALLEL PARKING
No Scale



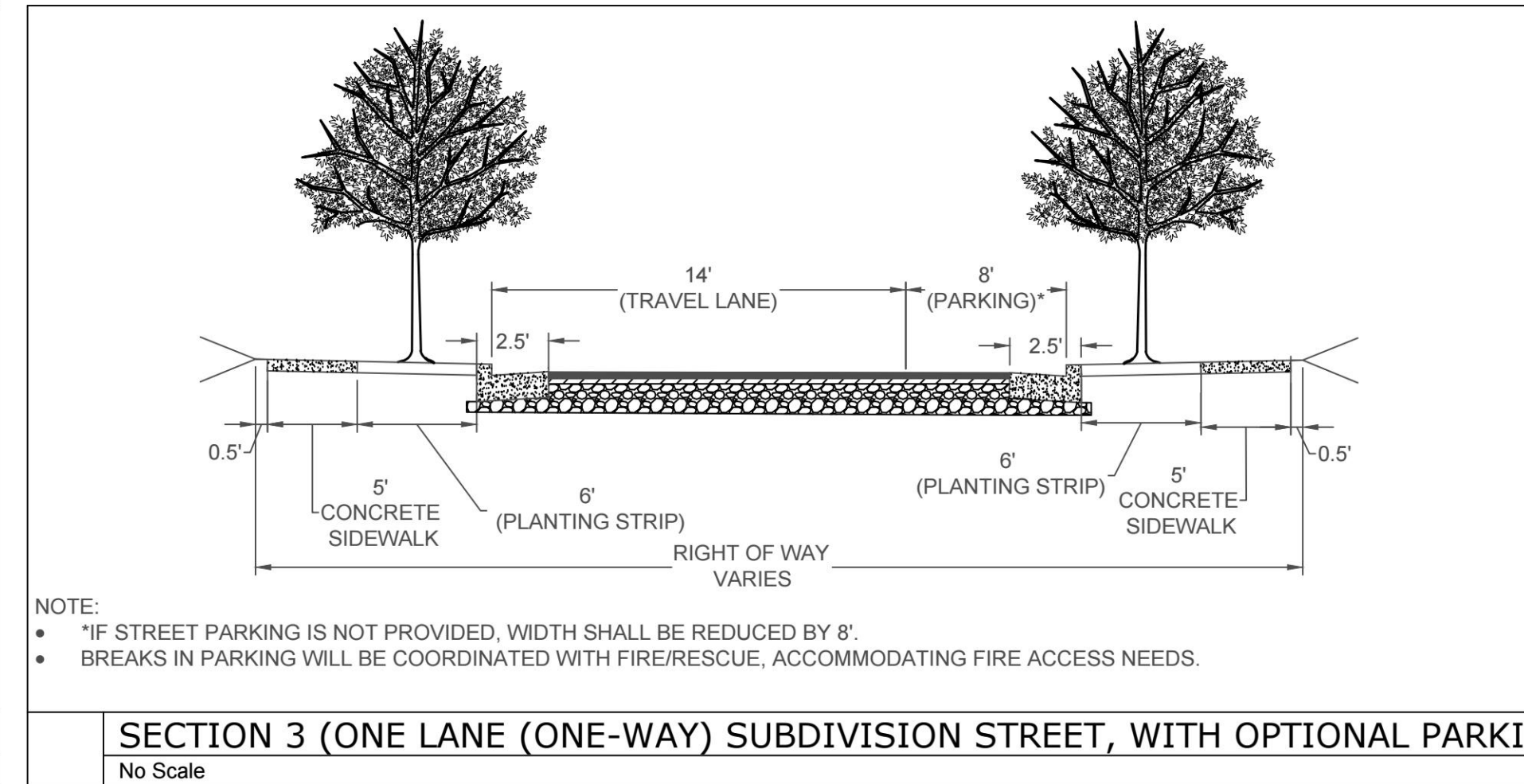
TYPICAL HICKORY STREET - CURB AND GUTTER SECTION WITH ONE SIDED PARALLEL PARKING
No Scale



SECTION 1 (TWO LANE (TWO-WAY) VDOT SUBDIVISION STREET NO PARKING)
No Scale

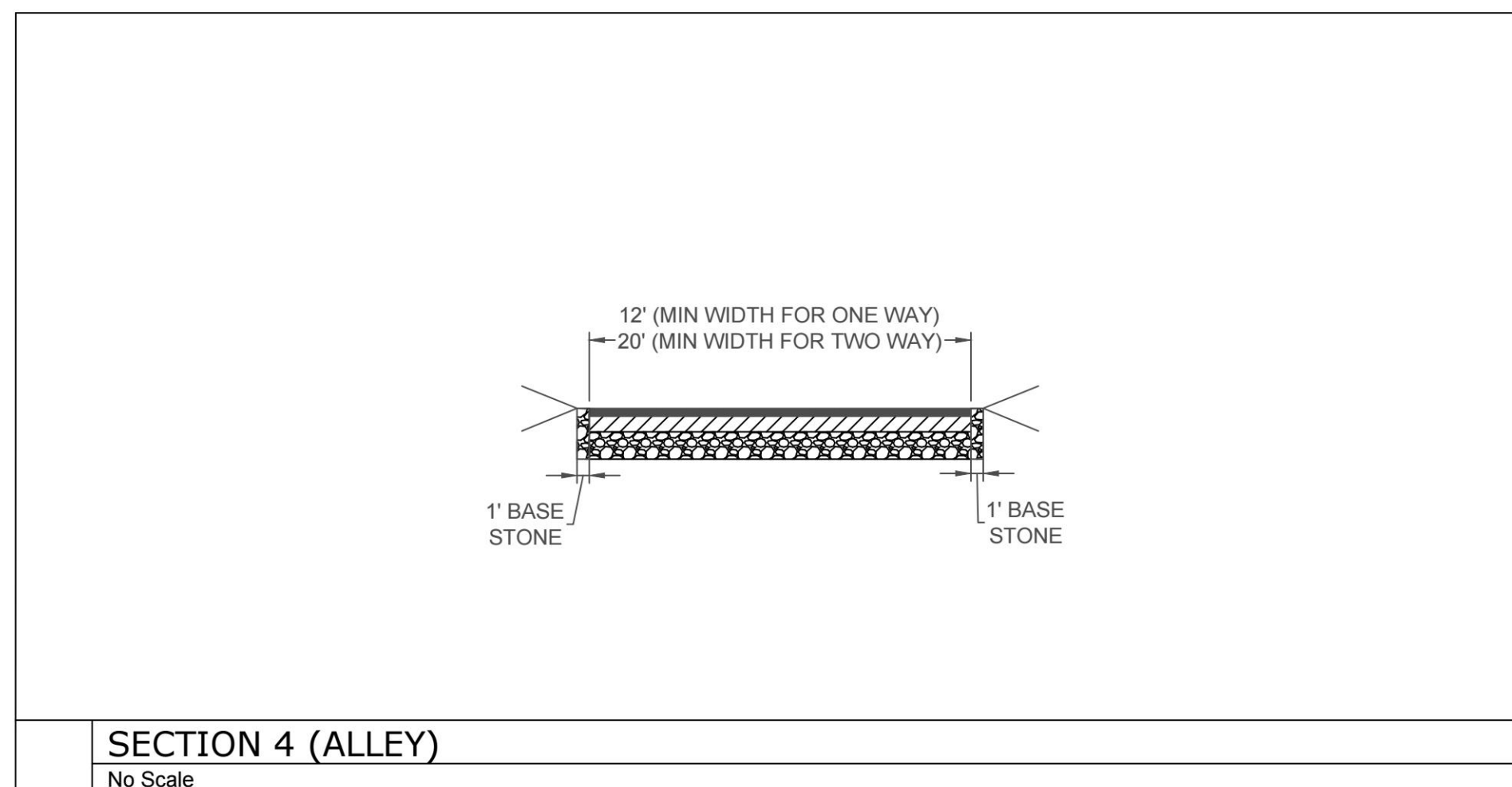


SECTION 2 (TWO LANE (TWO-WAY) VDOT SUBDIVISION STREET WITH PARKING)
No Scale

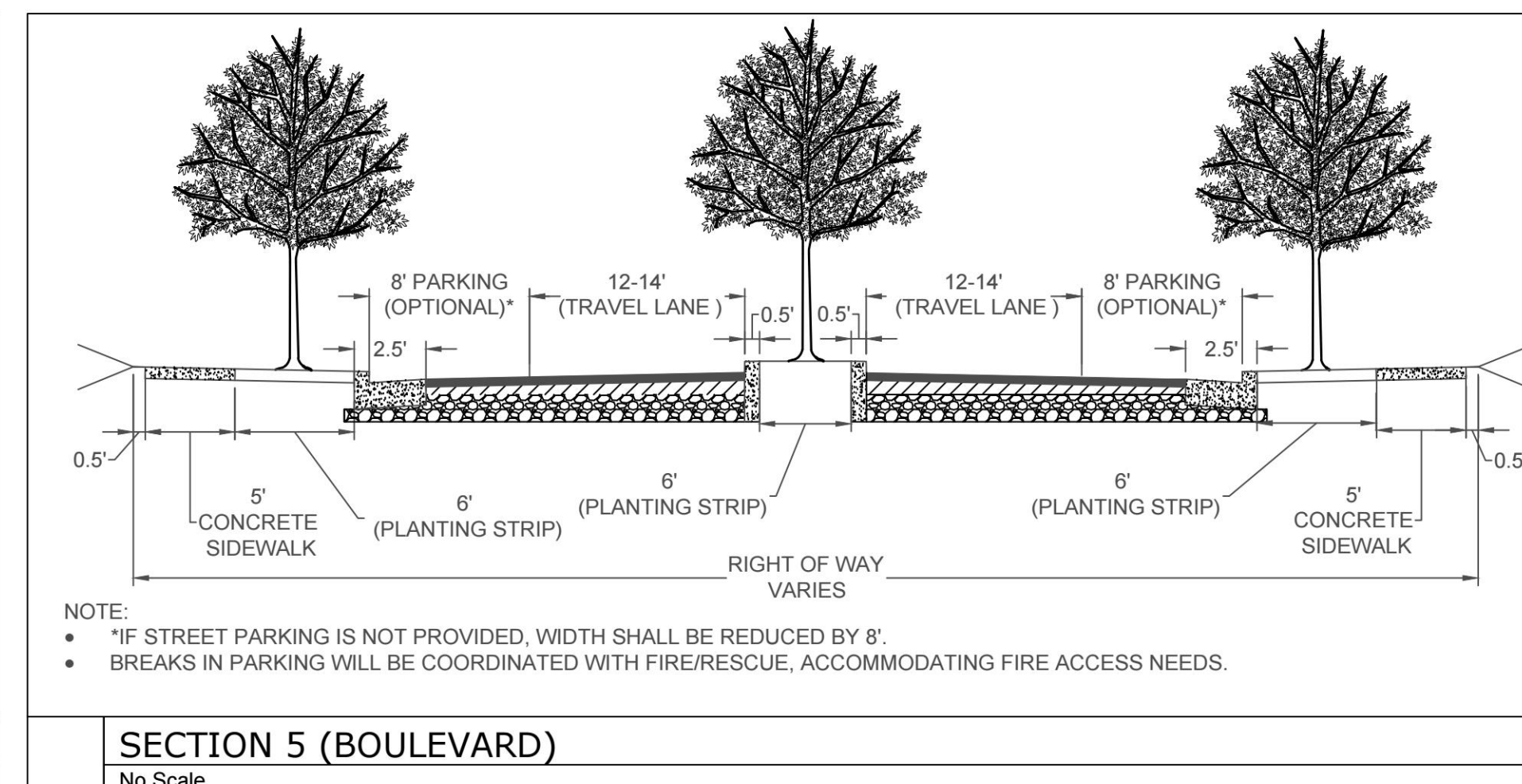


SECTION 3 (ONE LANE (ONE-WAY) SUBDIVISION STREET, WITH OPTIONAL PARKING)
No Scale

NOTE:
 • *IF STREET PARKING IS NOT PROVIDED, WIDTH SHALL BE REDUCED BY 8'.
 • BREAKS IN PARKING WILL BE COORDINATED WITH FIRE/RESCUE, ACCOMMODATING FIRE ACCESS NEEDS.



SECTION 4 (ALLEY)
No Scale



SECTION 5 (BOULEVARD)
No Scale

NOTE:
 • *IF STREET PARKING IS NOT PROVIDED, WIDTH SHALL BE REDUCED BY 8'.
 • BREAKS IN PARKING WILL BE COORDINATED WITH FIRE/RESCUE, ACCOMMODATING FIRE ACCESS NEEDS.

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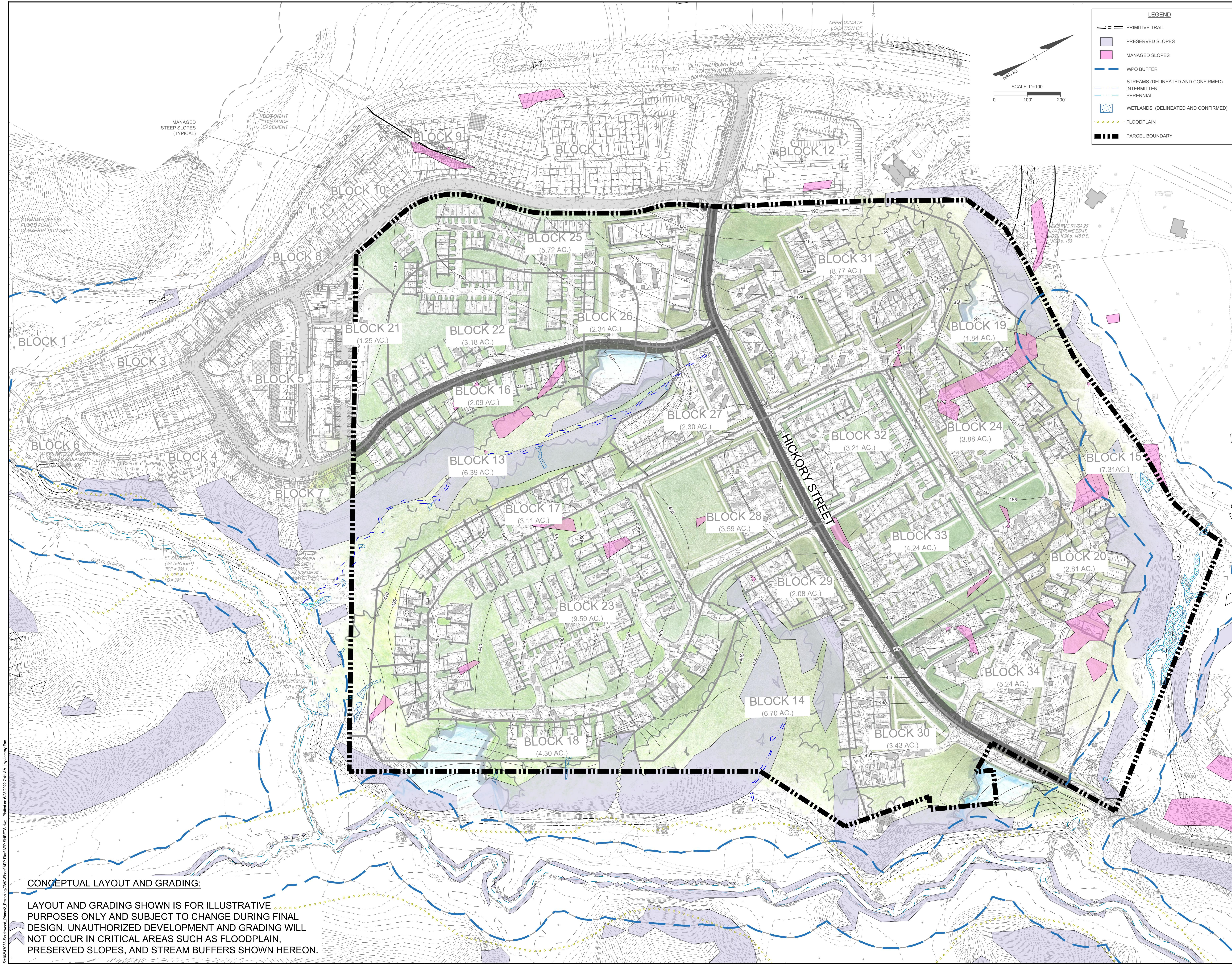
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 ALBEMARLE COUNTY, VA

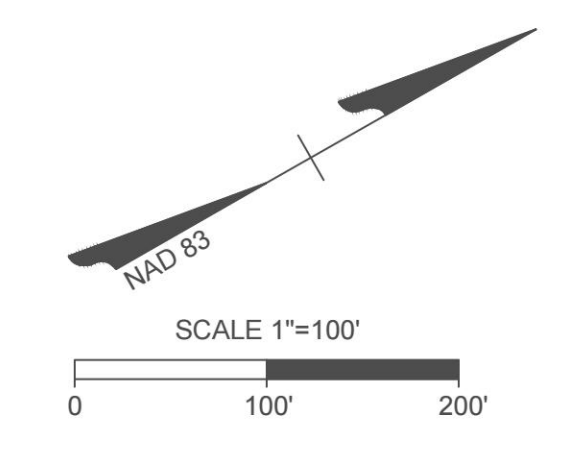
TYPICAL ROAD SECTIONS

JOB NO.	40919
SHEET NO.	C40



LEGEND

- PRIMITIVE TRAIL
- PRESERVED SLOPES
- MANAGED SLOPES
- WPO BUFFER
- STREAMS (DELINEATED AND CONFIRMED)
- INTERMITTENT
- PERENNIAL
- WETLANDS (DELINEATED AND CONFIRMED)
- FLOODPLAIN
- PARCEL BOUNDARY



CONCEPTUAL LAYOUT AND GRADING:

LAYOUT AND GRADING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE DURING FINAL DESIGN. UNAUTHORIZED DEVELOPMENT AND GRADING WILL NOT OCCUR IN CRITICAL AREAS SUCH AS FLOODPLAIN, PRESERVED SLOPES, AND STREAM BUFFERS SHOWN HEREON.

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SOUTHWOOD PHASE II REDEVELOPMENT
ALBEMARLE COUNTY, VA

CONCEPTUAL GRADING PLAN

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