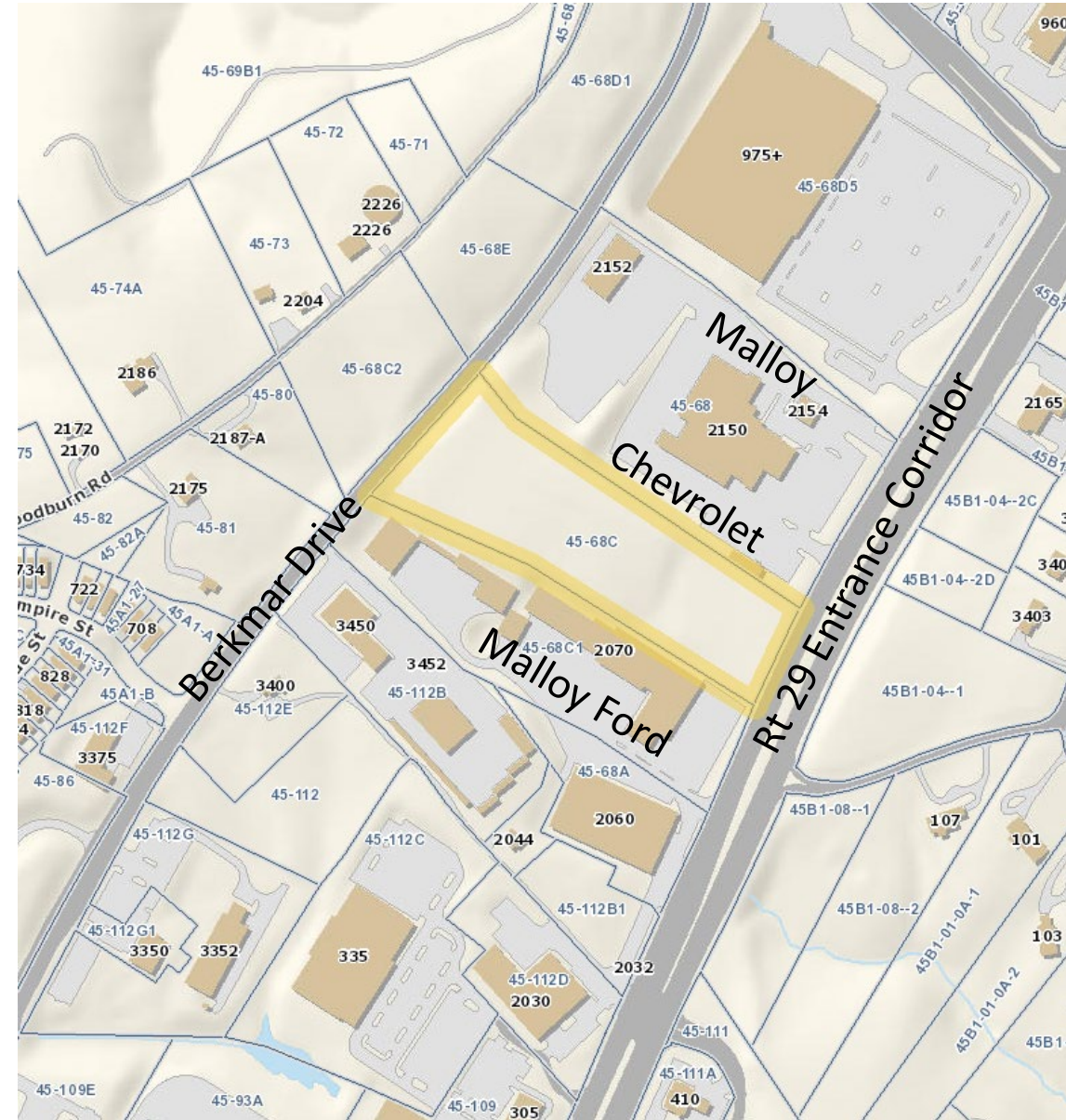


SP202300021 Flow Hyundai
Outdoor Storage, Display, and Sales
SE202300046 Flow Hyundai Special
Exception

Albemarle County Board of Supervisors
Public Hearing
August 7, 2024



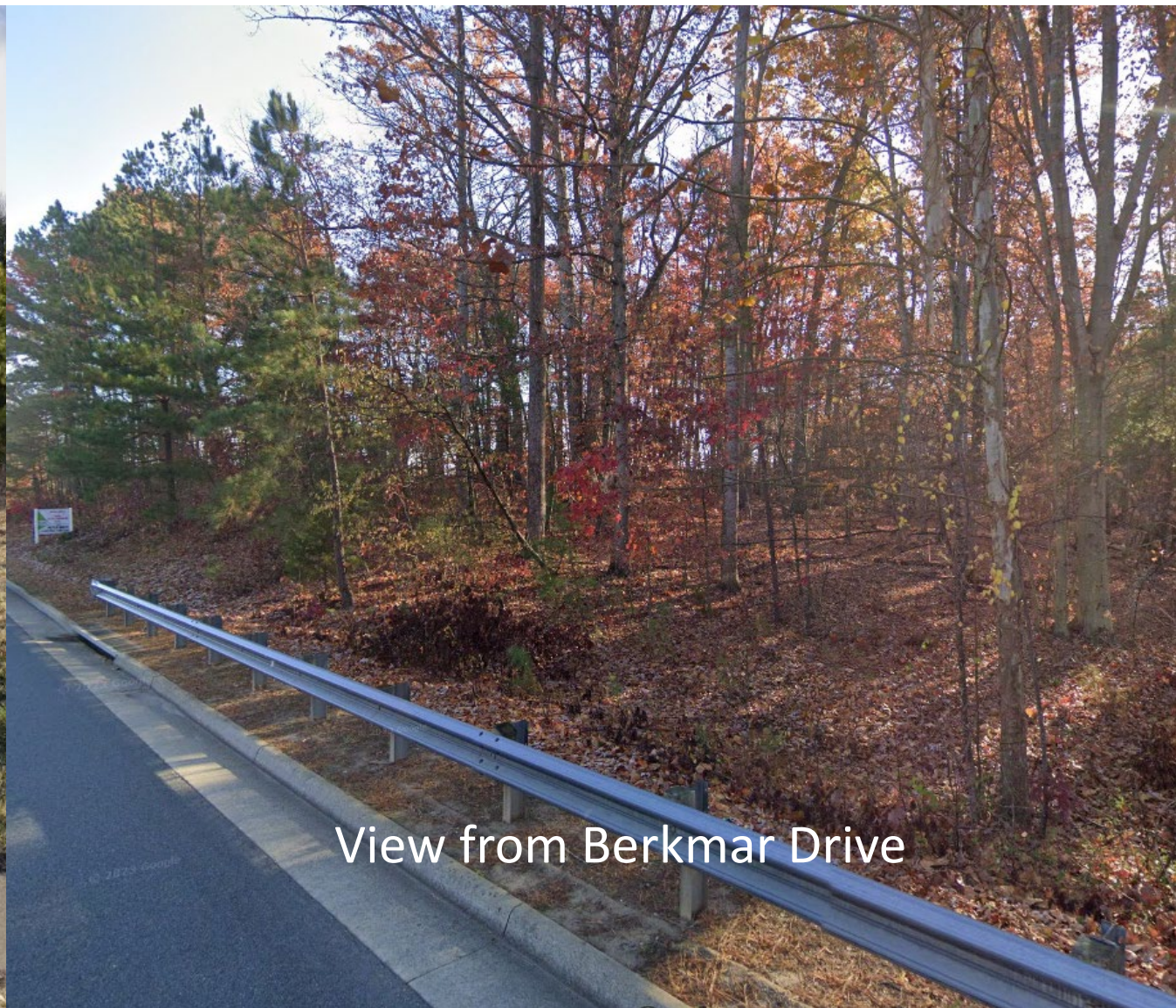
Location



Existing Conditions



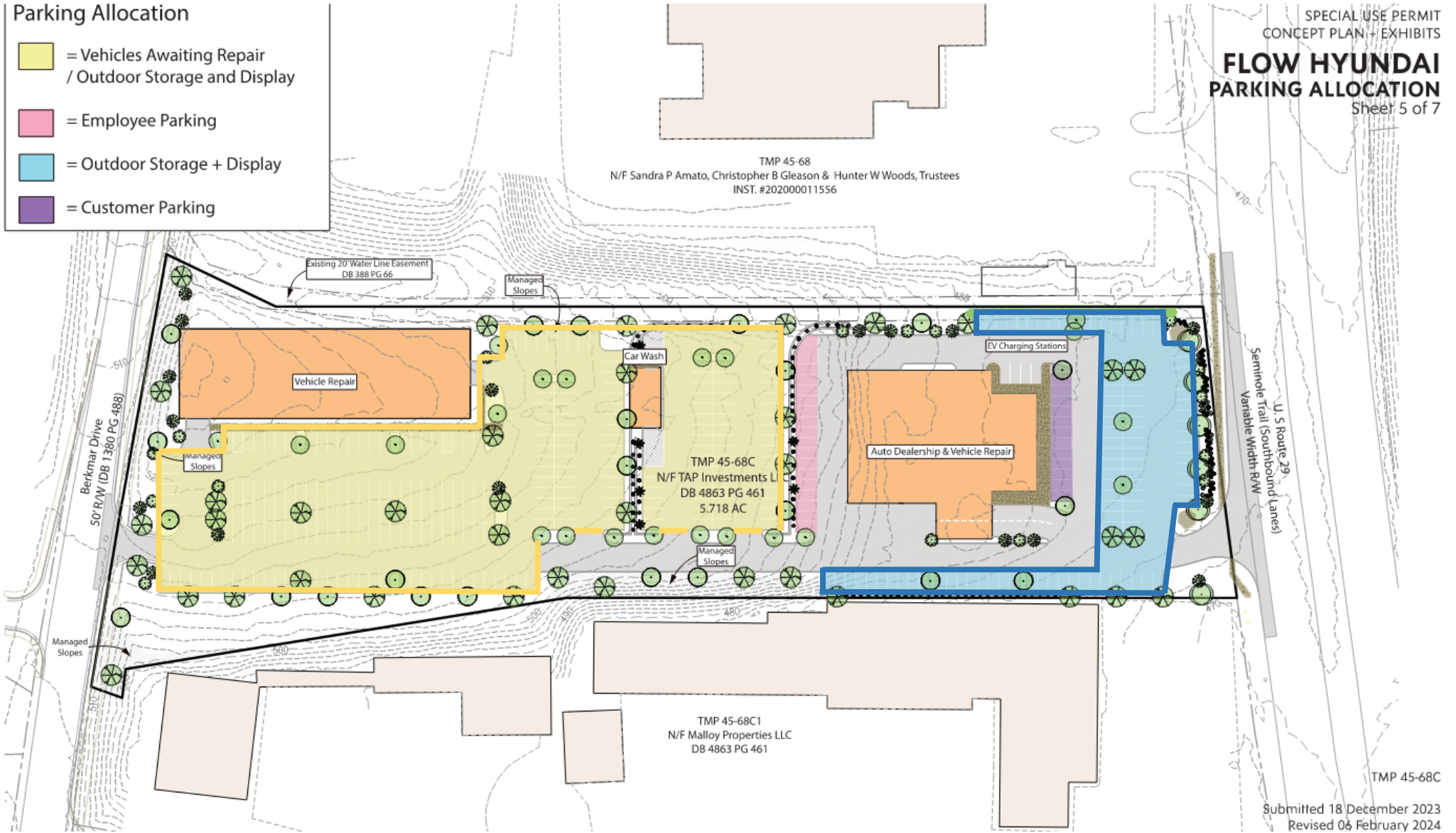
View from Rt 29



View from Berkmar Drive

Parking Allocation

- = Vehicles Awaiting Repair / Outdoor Storage and Display
- = Employee Parking
- = Outdoor Storage + Display
- = Customer Parking



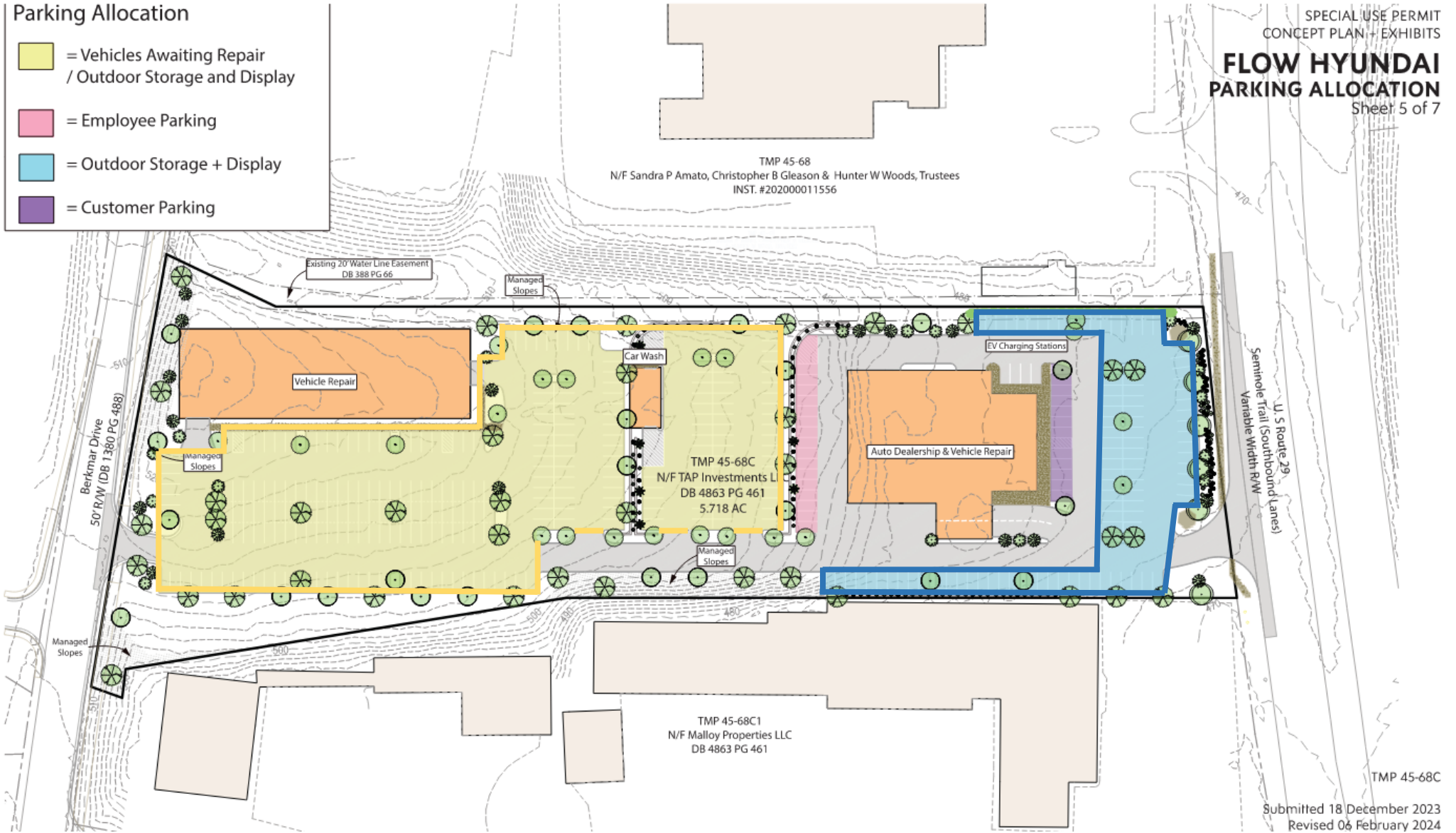
SPECIAL USE PERMIT
 CONCEPT PLAN - EXHIBITS
FLOW HYUNDAI
PARKING ALLOCATION
 Sheet 5 of 7

TMP 45-68C

Submitted 18 December 2023
 Revised 06 February 2024

Parking Allocation

- = Vehicles Awaiting Repair / Outdoor Storage and Display
- = Employee Parking
- = Outdoor Storage + Display
- = Customer Parking



SPECIAL USE PERMIT
 CONCEPT PLAN - EXHIBITS
FLOW HYUNDAI
PARKING ALLOCATION
 Sheet 5 of 7

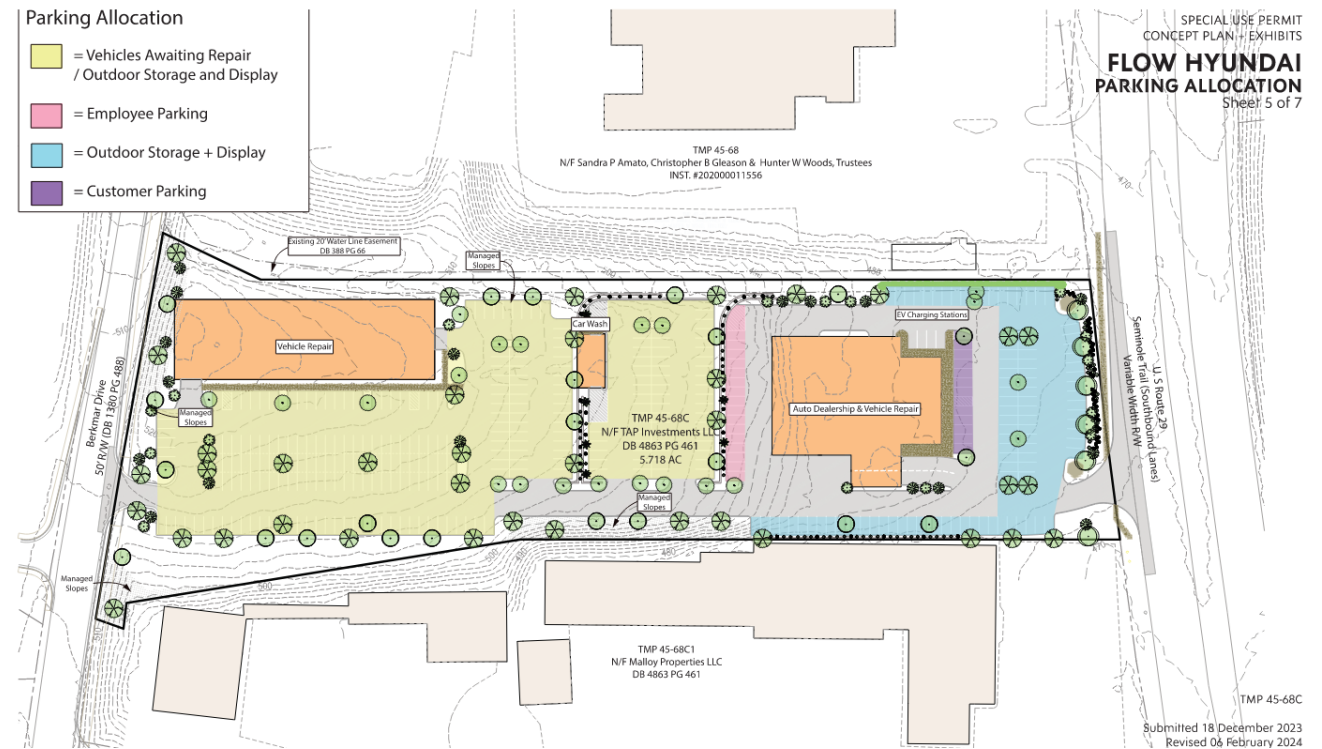
TMP 45-68C

Submitted 18 December 2023
 Revised 06 February 2024

SP202300021 Flow Hyundai Outdoor Storage, Display, and Sales

ARB/PC Recommended Conditions of Approval

1. Use of this site must be in general accord with the Flow Hyundai Concept Plan + Exhibits by Shimp Engineering dated March 18, 2024. To be in general accord, **vehicles for sales, storage and/or display must be parked only in the spaces indicated for sales, storage and display on the Flow Hyundai Parking Plan.**
2. Vehicles for sales, storage and/or display **must be parked in striped parking spaces.**
3. Vehicles must not be elevated anywhere outside a building on site.
4. **Final site plan approval is subject to ARB approval of the landscape plan** (submitted with the site plan). Landscaping shown on the plan may be required to be in excess of the minimum requirements of the ARB guidelines and/or the Zoning Ordinance to mitigate the visual impacts of the proposed use and must include additional planting in the island south of the Rt. 29 site entrance.
5. **Final site plan approval is subject to ARB approval of the lighting plan** (submitted with the site plan). Maximum light levels must not exceed 30 footcandles in the display lot and 20 footcandles in all other locations. The maximum height of pole lights must not exceed 20'. All fixtures must have lamps whose color temperature is between 2000 and 3000 Kelvin.



SP202300021 Factor Favorable and Recommendation

Favorable

1. The proposed outdoor storage, display and sales use is consistent with the EC Design Guidelines if the ARB's recommended conditions are upheld.

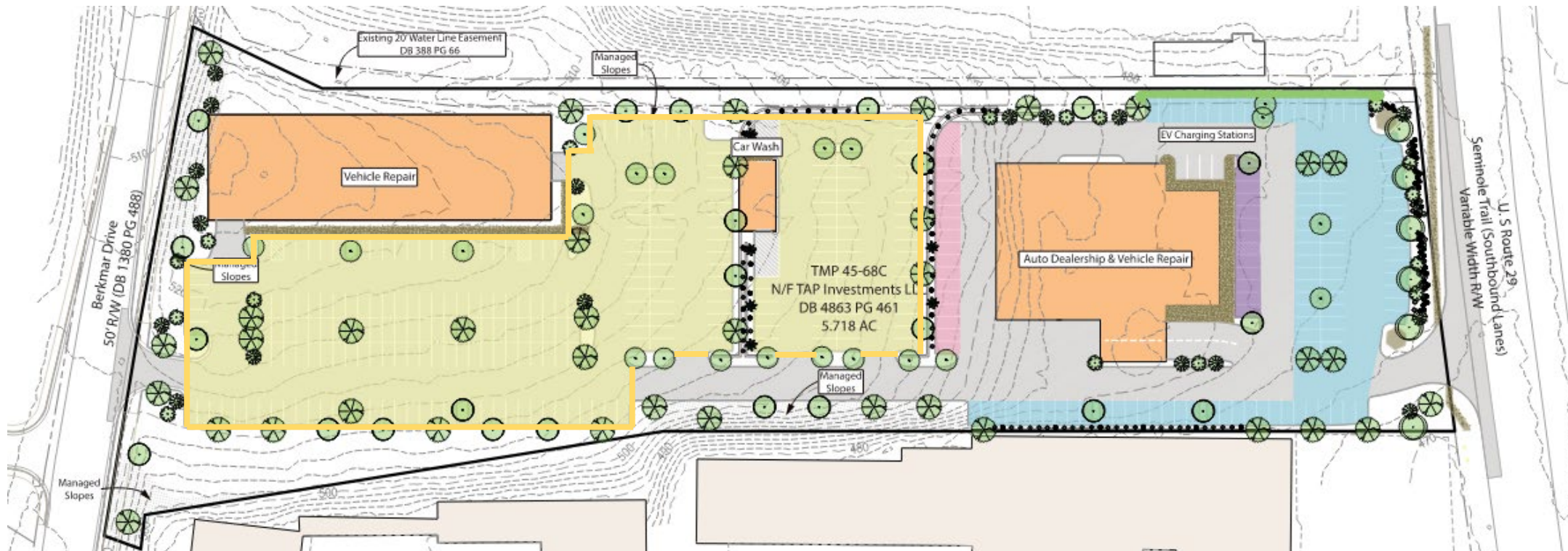
Recommendation

Staff recommends approval of SP202300021 Flow Hyundai Outdoor Sales, Storage, and Display with conditions.

SE202300046 Flow Hyundai Special Exception

5.1.31(b)

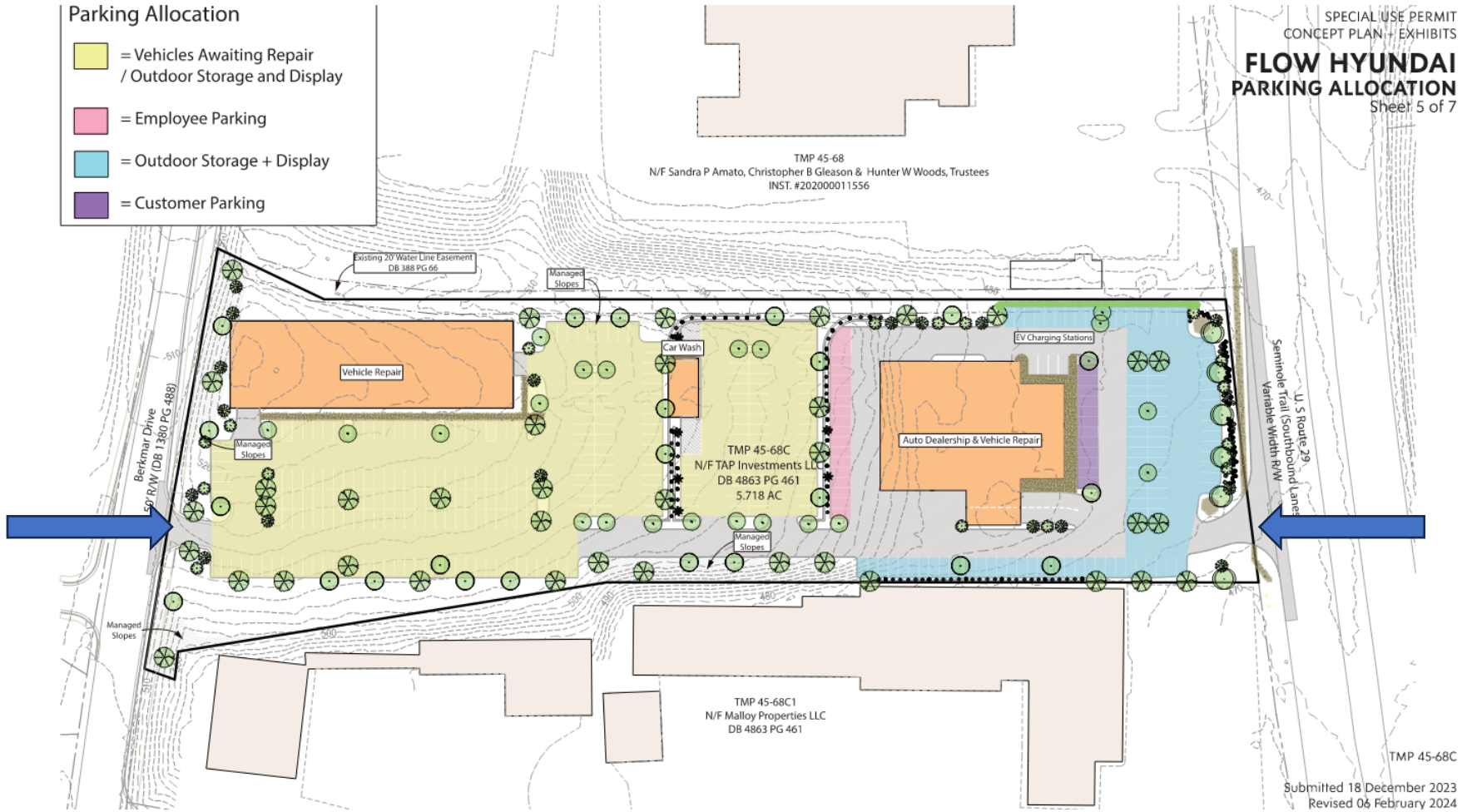
No vehicle awaiting repair shall be located on any portion of the site so as to be visible from any public street or any residential property and shall be limited to locations designated on the approved site plan.



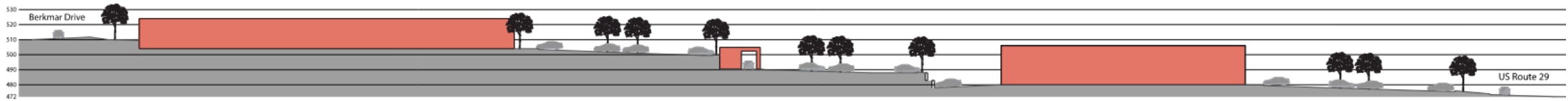
Parking Allocation

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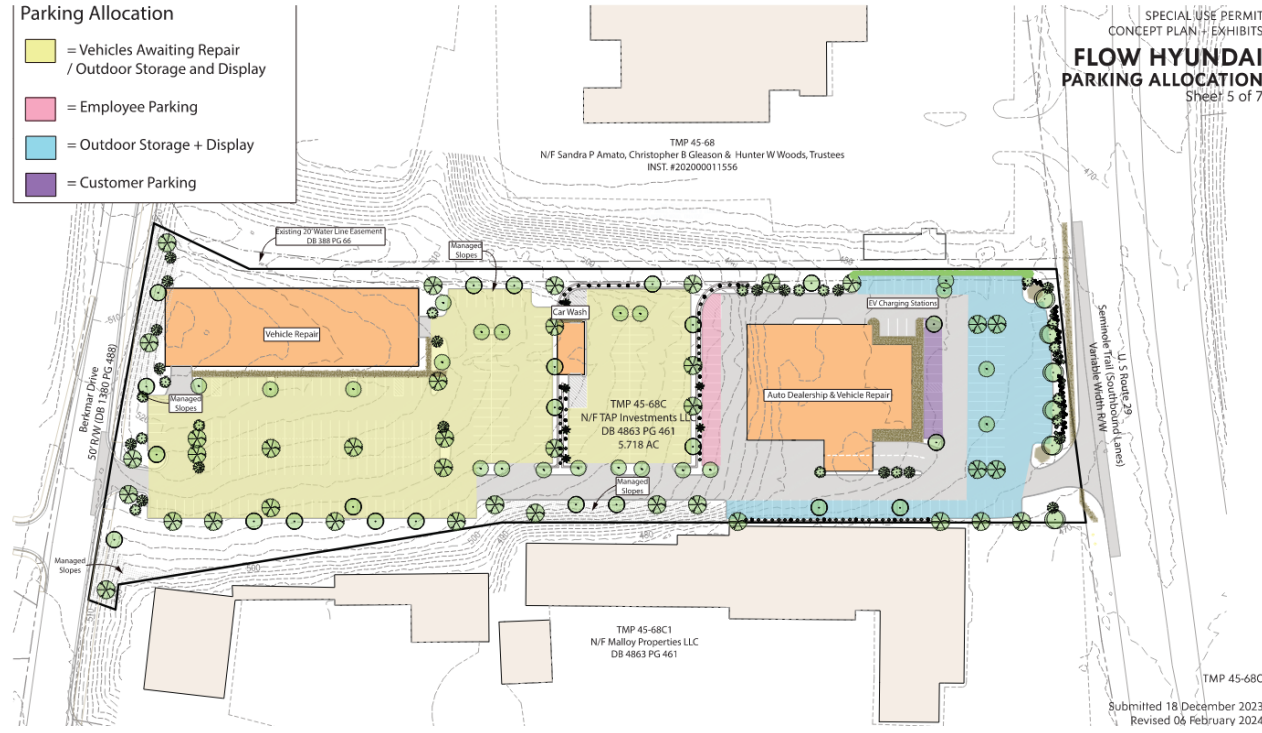
SPECIAL USE PERMIT
CONCEPT PLAN - EXHIBITS
FLOW HYUNDAI
PARKING ALLOCATION
Sheet 5 of 7



Submitted 18 December 2023
Revised 06 February 2024

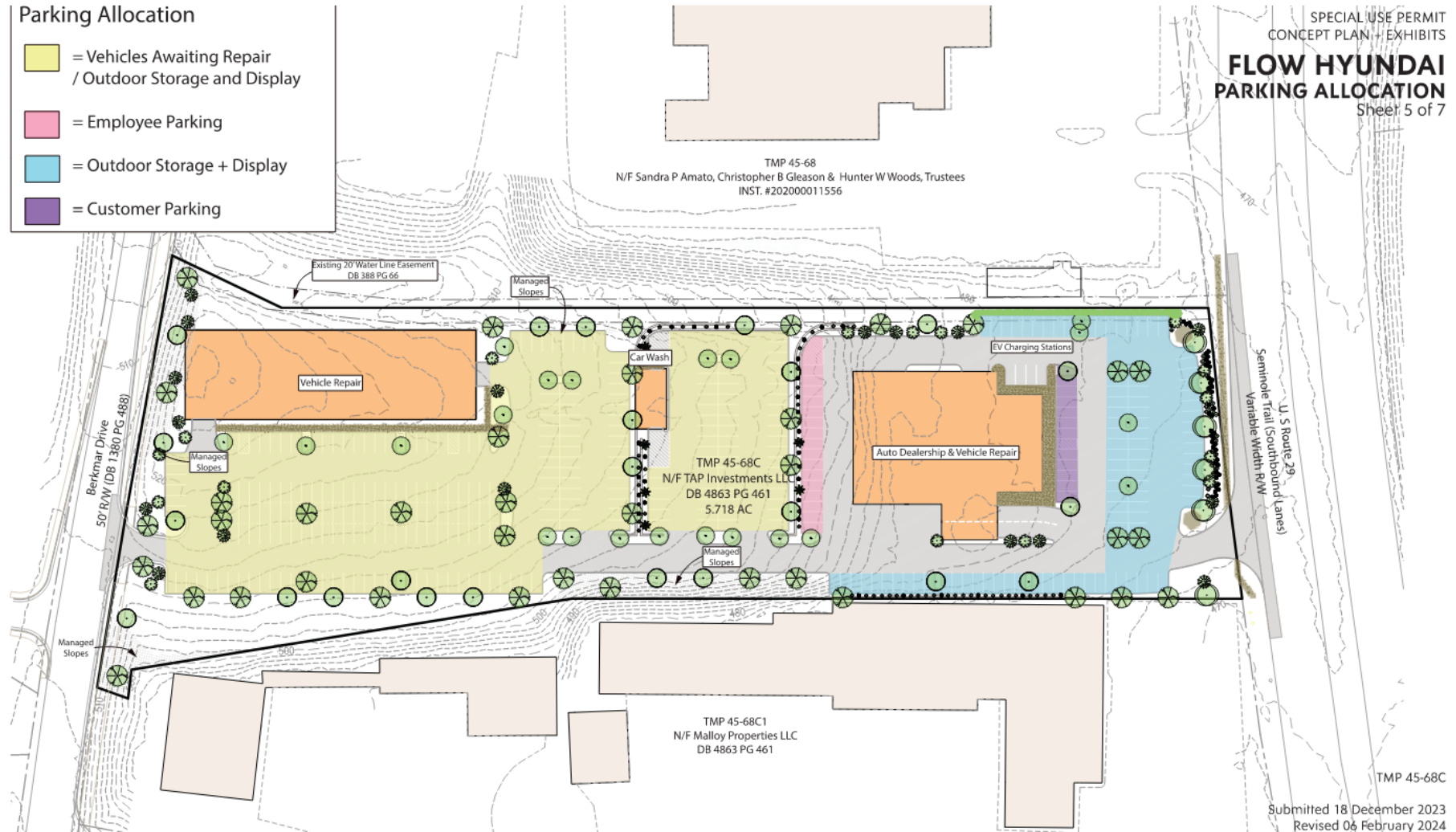


Visibility Analysis



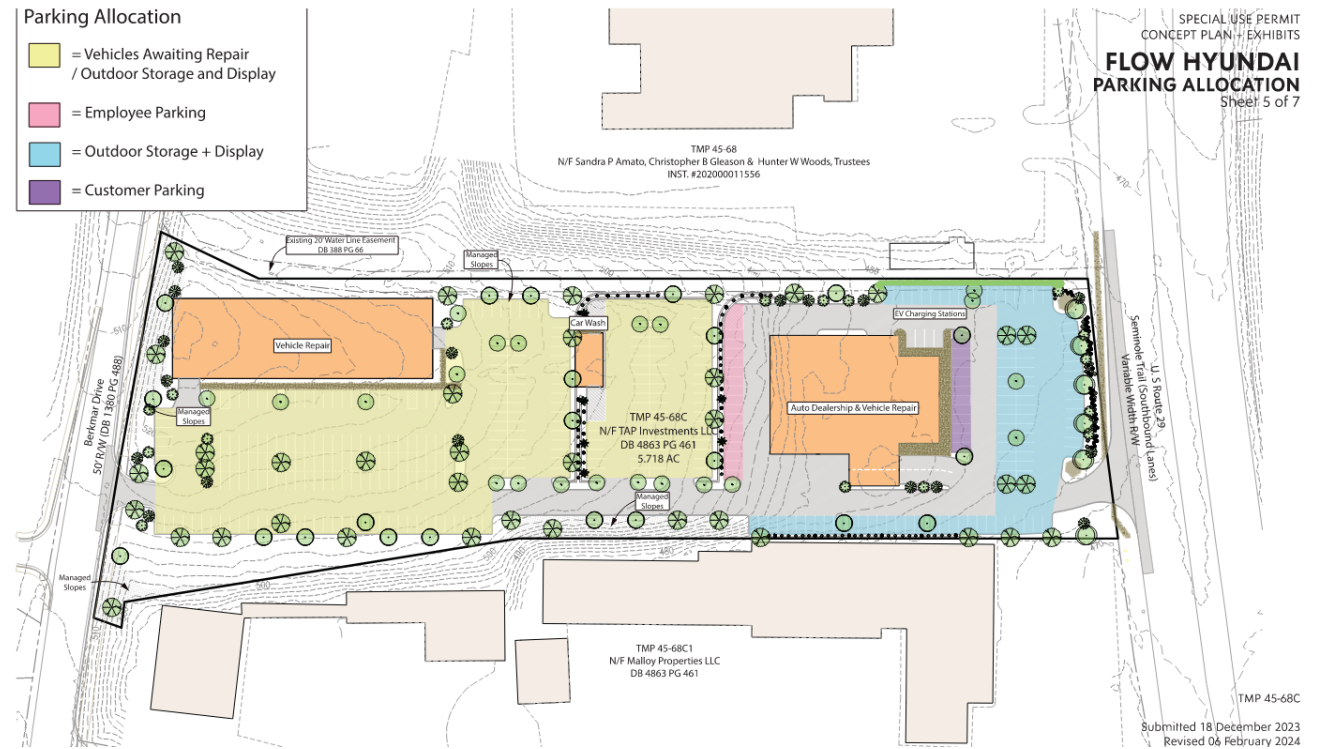
5.1.31(b)

No vehicle awaiting repair shall be located on any portion of the site so as to be visible from any public street or any residential property and shall be limited to locations designated on the approved site plan.



Planning Commission Recommendation regarding SE202300046

The Commission recommended providing additional (and where possible, preserving existing) landscaping, including evergreens, along Berkmar Drive and at the perimeter and interior of the parking areas.



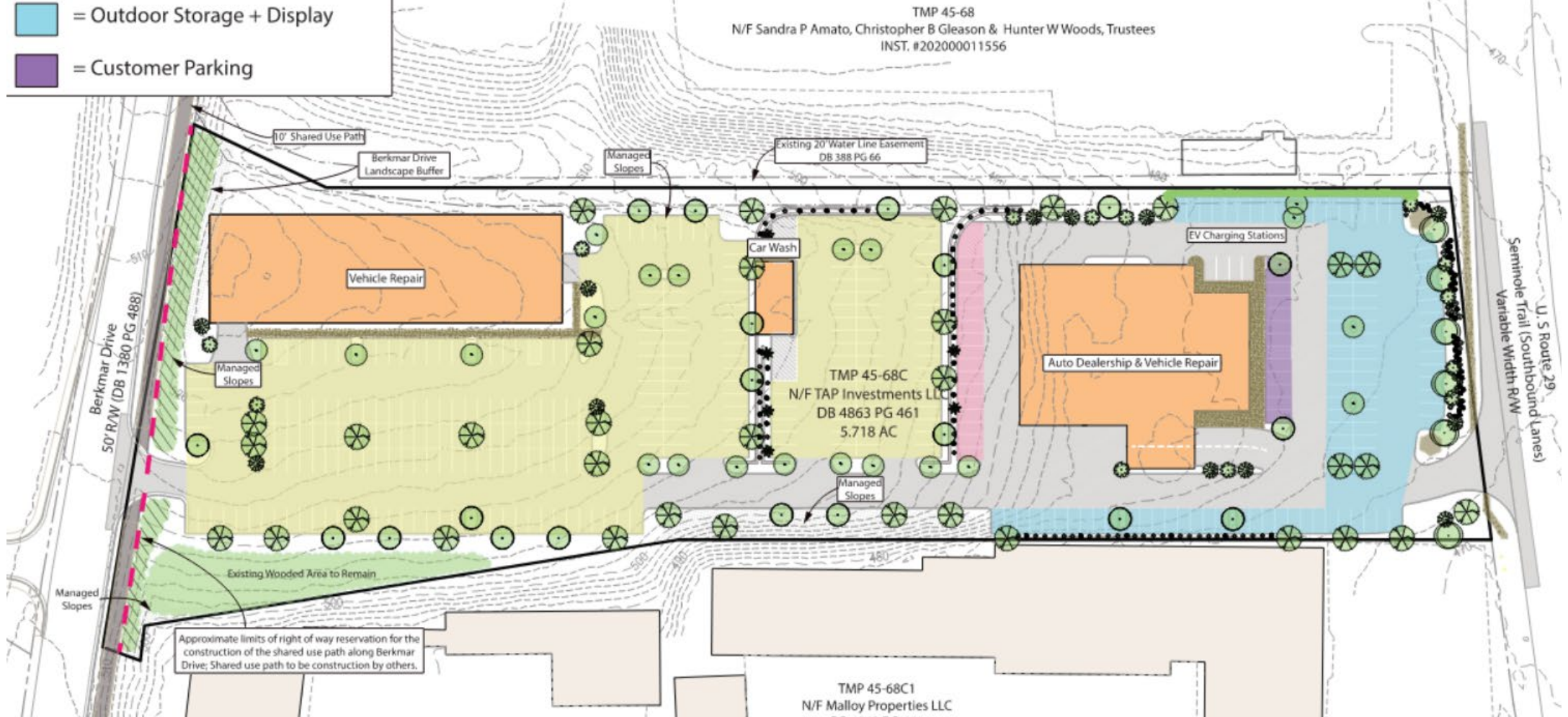
Vehicles Awaiting Repair

Parking Allocation

- = Vehicles Awaiting Repair / Outdoor Storage and Display
- = Employee Parking
- = Outdoor Storage + Display
- = Customer Parking

Note:

1. 10' Shared Use Path to be constructed by Albemarle County as part of the "Berkmar Drive Bicycle and Pedestrian Improvements (Segment 2) Plan"
2. To screen parking areas for vehicles awaiting repair, additional landscaping in excess of the requirements of 32.7.9 of the Albemarle County Zoning Ordinance will be provided adjacent to Berkmar Drive in the areas identified as "Berkmar Drive Landscape Buffer". The landscape buffer will consist of a mix of large shade trees, flowering ornamental trees, evergreen trees, and evergreen shrubs, to the satisfaction of the Director of Planning.



SE202300046 Recommendation

SE202300046 FLOW HYUNDAI CONDITIONS

1. The final site plan must include a landscape plan that contains the following, to the satisfaction of the Director of Planning:
 - a. A landscape buffer adjacent to Berkmar Drive that considers the alignment of the future shared-use path, as indicated on the Flow Hyundai Concept Plan + Exhibits by Shimp Engineering last revised June 19, 2024, and screens parking areas for vehicles awaiting repair;
 - b. Landscaping in the buffer, meeting or exceeding the requirements of *County Code* § 18-32.7.9, including a mix of large shade trees, flowering ornamental trees, evergreen trees, and evergreen shrubs; and
 - c. The wooded area remaining as identified on the Flow Hyundai Concept Plan + Exhibits by Shimp Engineering last revised June 19, 2024.

SP202300021 Flow Hyundai Outdoor Storage, Display, and Sales
SE202300046 Flow Hyundai Special Exception

Questions?



SP202300021 Recommended Conditions of Approval

1. Use of this site must be in general accord with the Flow Hyundai Concept Plan + Exhibits by Shimp Engineering dated March 18, 2024. To be in general accord, vehicles for sales, storage and/or display must be parked only in the spaces indicated for sales, storage and display on the Flow Hyundai Parking Plan.
2. Vehicles for sales, storage and/or display must be parked in striped parking spaces.
3. Vehicles must not be elevated anywhere outside a building on site.
4. Final site plan approval is subject to ARB approval of the landscape plan (submitted with the site plan). Landscaping shown on the plan may be required to be in excess of the minimum requirements of the ARB guidelines and/or the Zoning Ordinance to mitigate the visual impacts of the proposed use and must include additional planting in the island south of the Rt. 29 site entrance.
5. Final site plan approval is subject to ARB approval of the lighting plan (submitted with the site plan). Maximum light levels must not exceed 30 footcandles in the display lot and 20 footcandles in all other locations. The maximum height of pole lights must not exceed 20'. All fixtures must have lamps whose color temperature is between 2000 and 3000 Kelvin.
6. Discharge from stormwater facilities must be routed to the northern boundary of the subject parcel.

Motions for Special Use Permit: SP202300021

Should a Board of Supervisors member **choose to approve** this special use permit:

I move to adopt the resolution (Attachment E) to approve the special use permit for SP202300021 Flow Hyundai Outdoor Storage, Display, and Sales with the conditions as recommended in the staff report.

Should the Board **choose to deny** this special use permit:

I move to deny the special use permit for SP202300006 Flow Hyundai Outdoor Storage, Display, and Sales based on the following reasons. *State reasons for denial.*

SE202300046 Recommended Conditions of Approval

1. The final site plan must include a landscape plan that contains the following, to the satisfaction of the Director of Planning:
 - a. A landscape buffer adjacent to Berkmar Drive that considers the alignment of the future shared-use path, as indicated on the Flow Hyundai Concept Plan + Exhibits by Shimp Engineering last revised June 19, 2024, and screens parking areas for vehicles awaiting repair;
 - b. Landscaping in the buffer, meeting or exceeding the requirements of *County Code* § 18-32.7.9, including a mix of large shade trees, flowering ornamental trees, evergreen trees, and evergreen shrubs; and
 - c. The wooded area remaining as identified on the Flow Hyundai Concept Plan + Exhibits by Shimp Engineering last revised June 19, 2024.

Motions for Special Exception: SE202300046

Should a Board of Supervisors member **choose to approve** this special exception:

I move to adopt the resolution (Attachment F) to approve the special exception SE202300046 with the conditions contained therein.

Should the Board **choose to deny** this special exception :

I move to deny the special exception SE202300046 based on the following reasons. State the reasons for denial.

Vehicles Awaiting Repair

