

FIRST AMENDMENT TO DEED OF LEASE

This FIRST AMENDMENT TO DEED OF LEASE ("this Amendment"), dated July 22, 2009, by and between THE CITY OF CHARLOTTESVILLE and the COUNTY OF ALBEMARLE (the "Lessors") and the COMMONWEALTH OF VIRGINIA, DEPARTMENT OF HEALTH ("Lessee"), amends that certain Deed of Lease dated July 1, 1995 (the "Lease") by and between the Lessors and the Commonwealth of Virginia, Charlottesville/Albemarle Health Department (as lessee therein).

WITNESSETH

WHEREAS, the proper name of Lessee is the Commonwealth of Virginia, Department of Health; and

WHEREAS, the initial term of the Lease terminated on June 30, 2000 and the Lease automatically renewed and continued in full force and effect thereafter from year to year; and

WHEREAS, the parties hereto desire to amend the Lease as hereinafter set forth.

NOW, THEREFORE, it is agreed that the Lease be amended as follows:

1. Lease term shall be extended for an additional period of five years from the termination of the current renewal term of June 30, 2009 until June 30, 2014. The parties acknowledge that Sections 10 and 11 of the Lease shall remain in full force and effect.
2. Attachment No. 1 to Deed of Lease is hereby deleted. In lieu thereof, Lessors consent to execution of a new license agreement by and between Lessee and the Charlottesville Free Clinic as shown on Exhibit A.
3. Lessors and Lessee acknowledge and consent to the Charlottesville Free Clinic's alterations and additions to the premises described in the above-referenced license agreement at the sole cost and expense of the Charlottesville Free Clinic. The alterations and additions are described in Exhibit B.
4. All notices to Lessee required or permitted under this Lease shall be given in any manner set out in Section 12.(b), with additional copies addressed to:

Virginia Department of Health
ATTN: Director, Purchasing and General Services
109 Governor Street, 12th Floor
Richmond, Virginia 23219

and

Division of Real Estate Services
ATTN: Director
1111 East Broad Street, 2nd Floor
Richmond, Virginia 23219

Except as amended herein, the Lease shall remain in full force and effect.

This Amendment shall not be effective or binding unless and until signed by all parties and approved by the Governor of Virginia pursuant to Section 2.2-1149 of the Code of Virginia (1950), as amended.

IN WITNESS WHEREOF, the parties have affixed their signatures and seals.

LESSOR: CITY OF CHARLOTTESVILLE

By: Gary O'Connell
Title: City Manager

STATE OF VIRGINIA
CITY/COUNTY OF Charlottesville to wit:

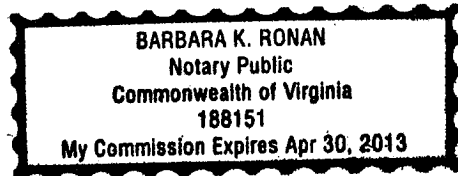
The foregoing First Amendment to Deed of Lease was acknowledged before me this 22ND day of JULY 2009, by Gary B. O'Connell, acting in his capacity as City Manager of the City of Charlottesville.

My commission expires: 4/30/2013
Registration Number: 188151

Barbara K. Ronan
Notary Public

Approved as to form:

By: Francesca Form
Asst. City Attorney



LESSOR:

COUNTY OF ALBEMARLE

By: Robert W. Tucker, Jr.

Title: County Executive

STATE OF VIRGINIA

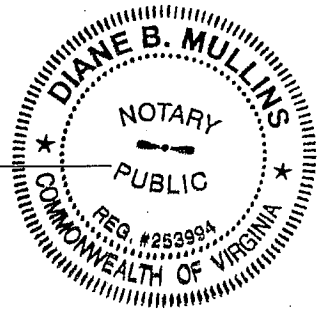
CITY/COUNTY OF Charlottesville, to wit:

The foregoing First Amendment to Deed of Lease was acknowledged before me this 6th day of August 2009, by Robert W. Tucker, Jr., acting in his/her capacity as Co.Exec., of the County of Albemarle.

My commission expires: June 30, 2013

Registration Number: 253994

Diane B. Mullins
Notary Public



Approved as to form:

Jay Williams
County Attorney

LESSEE:

COMMONWEALTH OF VIRGINIA
DEPARTMENT OF HEALTH

By: 

Title: DIRECTOR, OPGS

STATE OF VIRGINIA
CITY/COUNTY OF Richmond, to wit:

The foregoing First Amendment to Deed of Lease was acknowledged before me this 16th day of September 2009, by Steve Von Canon acting in his/her capacity as Director, OPGS on behalf of the Commonwealth of Virginia, Department of Health, on behalf of said agency.

My commission expires: 1-31-2012
Registration Number: 149028

Melissa K. Desmond
Notary Public

RECOMMEND APPROVAL:
DEPARTMENT OF GENERAL SERVICES
and its Division of Engineering and Buildings

By: *R. J. Slivinski*
Director

APPROVED BY THE GOVERNOR

Pursuant to Section 2.2-1149 of the Code of Virginia (1950), as amended, and by the authority delegated to me under Executive Order 88(01), dated December 21, 2001, I hereby approve this First Amendment to Lease Agreement and the execution of this instrument for and on behalf of the Governor of Virginia.

J. Sala B. Parker 9/16/09
Secretary of Administration Date

Exhibit A

**License for the Use of the Charlottesville Offices of
the Virginia Department of Health
(Thomas Jefferson Health District)
by the
Charlottesville Free Clinic**

This license ("License") is made this 12th day of June, 2009, by and between the Commonwealth of Virginia, Department of Health ("VDH") and the Charlottesville Free Clinic, a Virginia corporation, ("CFC") for use of portions of a leased facility located at 1138 Rose Hill Drive in the City of Charlottesville, Virginia. The building located at this site (the "Building") is jointly owned by the City of Charlottesville ("City") and the County of Albemarle ("County") (together, "Lessor") and is leased to VDH for use by the Thomas Jefferson Health District ("TJHD"). The lease between Lessor and VDH ("Lease"), is dated July 1, 1995, and had an initial term that terminated on June 30, 2000. The Lease automatically renewed and continued in full force and effect thereafter from year to year. The First Amendment to Deed of Lease dated July 22, 2009 ("First Amendment") extends the Lease term for an additional period of five years from the termination of the current renewal term on June 30, 2009 until June 30, 2014. In the First Amendment, Lessor consents to the use of these facilities by CFC as specified in this License and subject to the terms of the Lease and Lease Amendment.

1. Exclusive License.

VDH hereby grants CFC a license for the sole occupancy of office and dental clinic space totaling 3,386 square feet as shown on Exhibit A (the "Licensed Premises"). The term of the License shall begin on the date hereof and remain in full force and effect through June 30, 2014, after which it shall automatically renew for successive one year terms unless either party shall give written notice of non-renewal at least 90 days prior to the expiration of the term or renewal term, as the case may be. The permitted use of the Licensed Premises shall be to provide health care services to persons without other resources, provided such use does not interfere with the regular operations of VDH at the Building. CFC agrees to pay its share of the costs described in § 7 of the Lease (which includes utilities, trash disposal and custodial service as provided in § 5(k) of this License. CFC agrees to keep the doors from its offices into the TJHD offices and clinic suite locked or under direct supervision at all times except during the times that use of the medical clinic suite is licensed (see § 4 below).

2. Non-exclusive License.

In addition to the exclusive use by CFC of the space described above, VDH also grants to CFC a non-exclusive license to use the medical clinic suites, including patient waiting areas, located in the space leased by VDH from Lessor, to provide health care to persons without other resources, on the terms herein recited. The term of the License shall begin

on the date hereof and remain in full force and effect through June 30, 2014, after which it shall automatically renew for successive one year terms unless either party shall give written notice of non-renewal at least 90 days prior to the expiration of the term or renewal term, as the case may be. The right to use the space licensed under this provision shall exist only when the medical clinic suites are not in use by TJHD and further subject to the terms set out in § 4 below. Restrooms adjacent to the TJHD clinic and other public use areas such as corridors, stairwell and elevator which are not locked off from the clinic suite areas are included as well in this License for use, subject to non-interference by CFC staff and patients with the operations of the TJHD clinic. As used in this License, the term "CFC staff" shall be understood to include both paid and volunteer staff involved in providing services for CFC patients and in conducting related business operations for the CFC. TJHD employees may volunteer for the CFC and will be considered as CFC staff when engaged in such volunteer efforts.

3. License Subject to Lease.

Notwithstanding anything herein to the contrary, it is expressly acknowledged and agreed by CFC that all licenses herein granted are subject to the provisions of the Lease. This License shall automatically terminate upon the expiration of the Lease. Nothing herein shall be construed as requiring VDH to exercise any option set out in the Lease, or to allow the Lease to go into any automatic renewal term.

4. Hours of Operation under Non-exclusive License.

CFC may use the TJHD clinic suite on the second floor from 5:15 PM to 10:15 PM every Monday, Tuesday and Thursday evenings, as well as the use of two (2) examination rooms during such hours four (4) days per week, and at other such times as may be mutually agreed for either a one-time or on-going use. CFC agrees that the on-going operations of TJHD which overlap into these time periods, specifically the regular WIC clinic on Monday evenings until 7:00 PM and the occasional public health clinic on Tuesday and Thursday extended by excessive caseloads, or other such activities that TJHD deems necessary, shall have priority of use and that CFC operations shall be conducted in the unused areas of the TJHD clinic suite at such times.

5. General Provisions.

(a) Patient Records. TJHD and CFC will maintain separate patient records and will share patient information only as is requested and agreed by the patient or his/her legal representative. Should staff of either entity see or discover the contents of a patient's medical record from the other entity in the course of the use of the same clinic facility, the information will be held in strictest confidence except that the staff member, including volunteers, will notify a paid staff person in charge of the record in the other entity.

(b) Telephone and Computer Use. Computers located in the TJHD clinic suites shall not be used by CFC staff, subject to any subsequent agreement

between CFC and TJHD regarding such use, it being understood that VDH and TJHD are under no obligation to make any such agreement. The telephones in the TJHD clinic suites are available for use by CFC staff for local calls only. Long distance calls by CFC staff shall be made only from the telephones under the control of CFC within the space licensed exclusively to CFC.

(c) Locking of Other Building Areas. TJHD staff will assure that all areas of the Building, other than the TJHD clinic suites and adjacent public areas, are locked from access by patients during the hours licensed for CFC use of the TJHD clinic suites. Should an area not covered by this License be left accessible at any time, CFC staff will attempt to restrict access to the non-licensed areas by locking them, notifying the custodial staff or a TJHD contact or by other means as appropriate. CFC staff will assure that dental suite, clinic facilities and the outside exits from their offices and the clinic area are locked and secured when leaving the facility for the evening unless the custodian is present and has agreed to accept responsibility for a particular area.

(d) Use of Consumable Supplies. Each entity will furnish and separately maintain its own supplies for the medical clinic operations. However, when it is mutually agreed that certain items would be better managed jointly, an agreement specifying the item(s), responsibility for ordering and tracking and cost-sharing arrangements will be placed in writing. Any such agreement shall be subject to and in compliance with Commonwealth procurement laws, regulations and guidelines. For the dental clinic operations, CFC will provide the necessary supplies that it requires to operate the CFC dental clinic.

(e) Signs and Literature. All signs and literature or other materials used by CFC in the clinic areas during its operations will be removed after each clinic session. If CFC desires to leave such items in place between its clinic sessions, approval must be given by TJHD.

(f) Liability. VDH, TJHD, the County, and the City shall have no professional, personal, commercial, general or other liability of any kind for any acts or omissions of CFC employees, staff, patients or volunteers in the course of CFC's medical, dental or other services and/or activities ("operations"). CFC shall indemnify and hold VDH, TJHD, the County, and the City harmless for any act or omission causing damages or injury as a result of CFC's operations. TJHD staff members, when acting as CFC volunteers, are considered to be CFC staff and are operating as private persons outside their employment with VDH. CFC shall have no liability for any acts of TJHD staff carried out within the course of their TJHD employment. CFC's general liability policy shall cover all CFC operations in the Building to assure that CFC employees and staff, including volunteers, and patients are fully covered for any accident, damages or injury which may occur at the site. CFC shall maintain the following insurance coverage:

\$1,000,000 in liability coverage on the leased space and \$2,000,000 in casualty coverage.

CFC maintains insurance through the Division of Risk Management that includes \$1,000,000 per occurrence with unlimited aggregate and \$2,000,000 per occurrence with unlimited aggregate for medical malpractice.

CFC maintains an additional policy through Zurich North America for commercial general liability and workers compensation, which is a general aggregate coverage at \$2,000,000.

CFC shall provide proof of the insurance coverage listed above at execution of this document and each year on March 31st. CFC shall provide additional insurance coverage at the reasonable request of VDH.

VDH and CFC shall each cause the other to be named as an additional insured on their respective policies of casualty and commercial general liability insurance.

(g) Equipment. Both VDH and CFC shall retain ownership of their respective furnishings and equipment purchased and installed on the premises by each entity. All medical and dental equipment installed in the clinic suites is available for use by both TJHD and CFC staff during their separate clinic operations unless expressly noted in writing and posted upon the item. Upon termination of this License, CFC will make arrangements for prompt removal of its equipment, including installed dental equipment, from the Building, or at its option, transfer ownership to VDH. Each entity shall insure the furnishings and equipment that it owns against theft, fire or other damage and shall apply usual and customary care in the housing and use of all furnishings and equipment. CFC shall indemnify and hold VDH, TJHD, the County, and the City harmless from loss due to any injury resulting from the use of equipment or furnishings owned by or belonging to VDH, TJHD, County or City during CFC operations.

(h) Laboratory Operations. Each entity will maintain licensure or certification separately as required by federal Clinical Laboratory Improvement Amendment of 1998 (CLIA) regulations to conduct the type of clinical testing required for its own operations.

(i) Equipment Maintenance. CFC will perform or cause to be performed all necessary and appropriate maintenance of all dental equipment, including dental equipment owned by VDH. VDH is responsible for maintenance of medical (non-dental) equipment it owns. The CFC accepts responsibility for maintenance of all equipment used exclusively by CFC staff. CFC and VDH will each follow established protocols for use and customary care of shared medical equipment.

(j) Standards: CFC will apply generally accepted practice standards in the use of the clinic facilities and will leave the facilities and all equipment clean and

in good order. CFC staff will follow standard OSHA and CDC infection control and universal precaution guidelines as well as any related guidelines requested by VDH.

(k) Utilities and Custodial Service. VDH will assure that utilities and custodial service are provided for the dental, clinic, and office suites. In recognition of the excess use and demands imposed by CFC's use of the dental, clinic and office suites, CFC agrees to pay a prorated share of the costs of water, sewer, gas, electric, and trash as well as a prorated share of the custodial staff costs and janitorial supplies. The prorated share is 10.6% (which calculation is based on CFC space of 3,386 square feet divided by total Building square footage of 31,822 square feet total). CFC agrees to pay the prorated share of the costs to VDH on a quarterly or other basis as mutually agreed effective on and after the date hereof. Share formulas and costs will be evaluated and revised by amendment to this License. VDH shall provide a quarterly invoice to CFC for CFC's share of the above-stated expenses, and CFC shall pay the amount due within 21 days thereafter.

6. Other Accommodations.

The meeting rooms in the Building outside of the CFC office area or clinic suites are not included in this License. Meeting rooms are made available for the use of health-related community agencies on an intermittent basis when previously scheduled and not in conflict with the needs of TJHD. Routine and regularly scheduled use of meeting rooms by groups not affiliated with TJHD are not permitted during business hours but may be permitted after those hours when appropriately scheduled. (CFC Board meetings may be routinely scheduled when held after 5:00 PM.) The use of the meeting room space during TJHD business hours is limited by the meeting and parking needs of TJHD staff, patients and clients. The CFC may request use of meeting room space in the Building the same as other community agencies.

7. Parking.

During the daytime operations of TJHD, CFC staff and visitors will park in the lot areas somewhat removed from the Building, except for staff and visitors with handicapped licenses or permits. During CFC clinic sessions, restricted parking areas will be observed and efforts made to accommodate the parking needs of others using the facility's meeting rooms or other areas.

8. Emergency Contacts.

TJHD and CFC will each designate paid staff who will act as emergency contacts for the other and will assure that the means of contacting these persons is known to those in charge of operations at any time. Emergency contact with the City Public Works Department and the City Fire Department should be made first when appropriate and

those phone numbers will be made available to all CFC staff. Each will inform the other of contacts for other specific purposes.

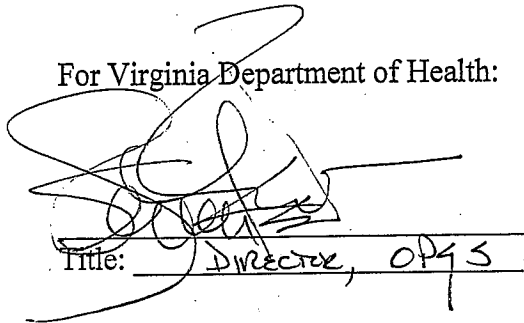
9. Written Notice.

(a) VDH will provide written notice of any concerns or issues that could jeopardize this License so that they may be jointly addressed with CFC. VDH acknowledges its responsibility to work with CFC to continue this sharing of clinic facilities because of the community need for CFC services and the dependence of CFC on use of the TJHD clinic facilities following its investment of funds in the construction and renovations at this site.

(b) VDH and CFC will work together to assure that the joint use of this facility for public health and the care of those without other health care resources is conducted in a manner beneficial to the community. By the signatures below, both entities commit to this principle and CFC agrees to the terms and conditions placed upon it by the License which TJHD grants while TJHD agrees to the conditions it is placing upon itself with this License.

(c) Notwithstanding the foregoing, CFC acknowledges that VDH may terminate this License if there are repeated violations of the provisions hereof after written notice by VDH.

For Virginia Department of Health:



Title: DIRECTOR, OPI

For the Charlottesville Free Clinic,
a Virginia Corporation:



Title: Executive Director 6/2/09

Exhibit B

Charlottesville/Albemarle Health Department Renovation for Charlottesville Free Clinic

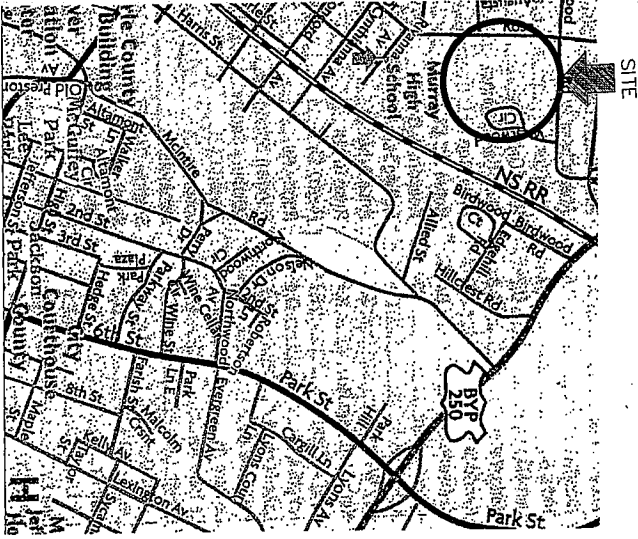
1138 Rose Hill Drive
Charlottesville, Virginia

Bid/Construction Documents

CODE INFORMATION:

APPLICABLE CODES:
 2006 INTERNATIONAL BUILDING CODE
 2006 INTERNATIONAL STATEWIDE BUILDING CODE
 2006 IBC
 2006 INTERNATIONAL EXISTING BUILDING CODE
 2006 INTERNATIONAL FIRE PREVENTION CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2006 NATIONAL ELECTRICAL CODE
 2006 INTERNATIONAL FIRE PREVENTION CODE
 2006 INTERNATIONAL FIRE PREVENTION CODE
 CODE 2003 IBC/ANSI A 117.1
 NO CHANGE TO BUILDING USAGE, OCCUPANCY,
 BUILDING TYPE, MEANS OF EGRESS, OR EXITS.
 TOTAL AREA UNDER RENOVATION: 4,400 SQFT.

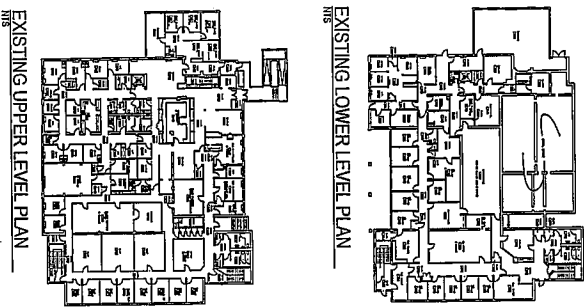
VICINITY MAP



SITE

LOCATION PLAN

PHASING FOR RENOVATION WORK



SHEET INDEX

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- D1.2 UPPER LEVEL DEMOLITION PLAN - PHASE TWO
- D2.1 UPPER LEVEL DEMOLITION PLAN - PHASE TWO
- D2.2 UPPER LEVEL DEMOLITION PLAN - PHASE TWO
- A1.1 PROPOSED LOWER LEVEL FLOOR PLAN - PHASE ONE
- A1.2 PROPOSED UPPER LEVEL FLOOR PLAN - PHASE ONE
- A1.3 REFLECTED CEILING PLAN LOWER LEVEL - PHASE ONE
- A1.4 REFLECTED CEILING PLAN UPPER LEVEL - PHASE ONE
- A2.1 PROPOSED LOWER LEVEL FLOOR PLAN - PHASE TWO
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- A2.3 REFLECTED CEILING PLAN UPPER LEVEL - PHASE TWO
- A2.4 REFLECTED CEILING PLAN UPPER LEVEL - PHASE TWO
- A3.1 PHASE ONE INTERIOR ELEVATIONS - HD RECEPTION DESK
- A3.2 PHASE ONE INTERIOR DETAILS
- A3.3 PHASE ONE INTERIOR ELEVATIONS
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- E1.1 LOWER LEVEL ELECTRICAL PLAN - PHASE ONE
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CHARLOTTESVILLE FREE CLINIC RENOVATION AT CHARLOTTESVILLE/ALBEMARLE COUNTY HEALTH DEPT.
 1138 ROSE HILL DRIVE
 CHARLOTTESVILLE, VIRGINIA

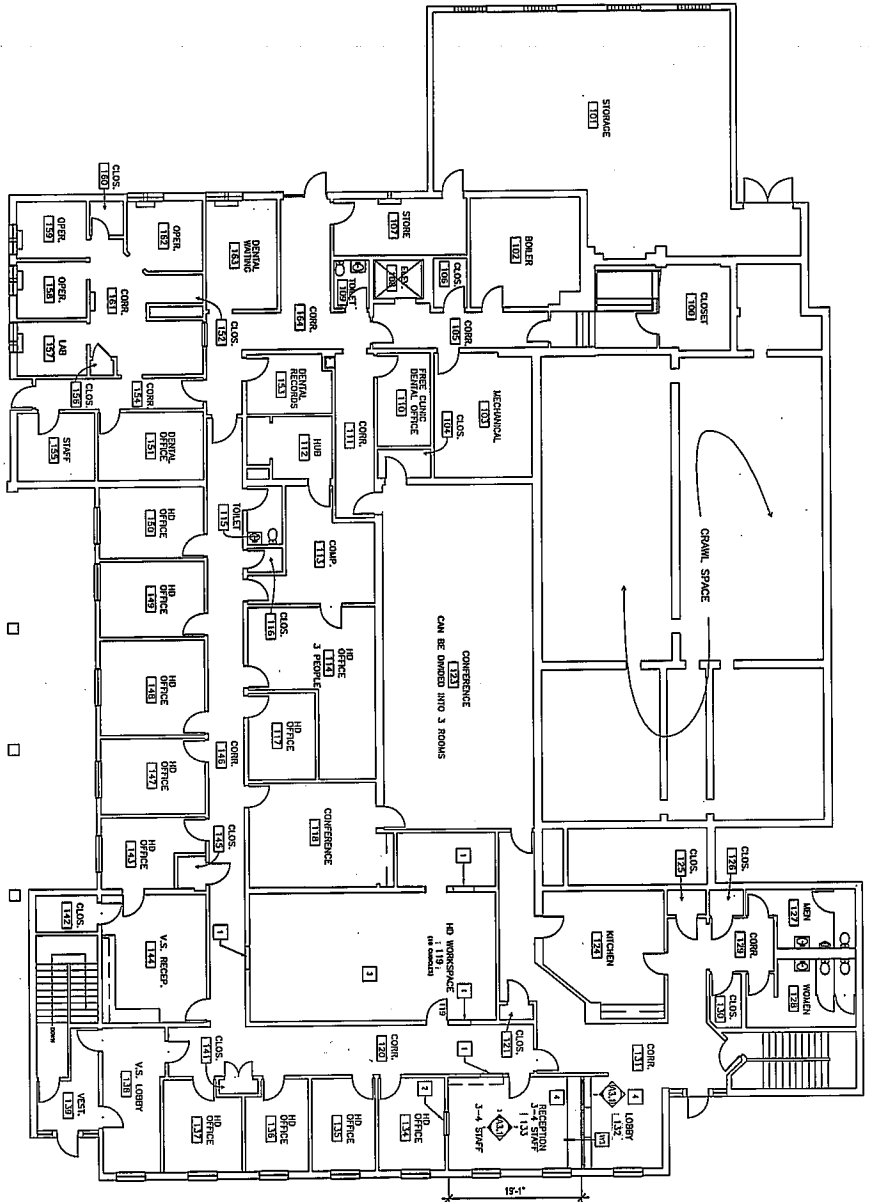
1.23.09

12.09.08

T-1

daggett + grigg architects

100 10TH STREET, NE, SUITE 200
 CHARLOTTESVILLE, VA 22802
 T 434.671.8848
 F 434.296.3040
 www.daggettgrigg.com



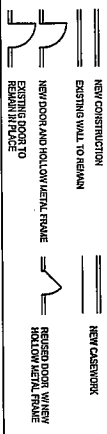
PROPOSED LOWER LEVEL PLAN - PHASE ONE
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- 1 BRILL WALL WHERE DOOR/WINDOW WAS REMOVED. MATCH WALL CONSTRUCTION AND FINISH WALL TYPE W/ TYPE.
- 2 REINFORCED INTERIOR WINDOW FROM ROOM 133. CENTER WINDOW IN WALL. HEAD HEIGHT TO MATCH EXISTING LOCATION.
- 3 ROOM 119 TO HAVE INCREASED NUMBER OF OCCUPANTS. HVAC SUPPLY WALL HAVE TO BE DETERMINED. SEE FURNITURE PLAN FOR LAYOUT AND NUMBER OF DESKS.
- 4 FULLY REPAIR ENTIRE ROOM

*SEE SHEET T2 FOR GENERAL NOTES.

CONSTRUCTION LEGEND



daggett + grigg architects

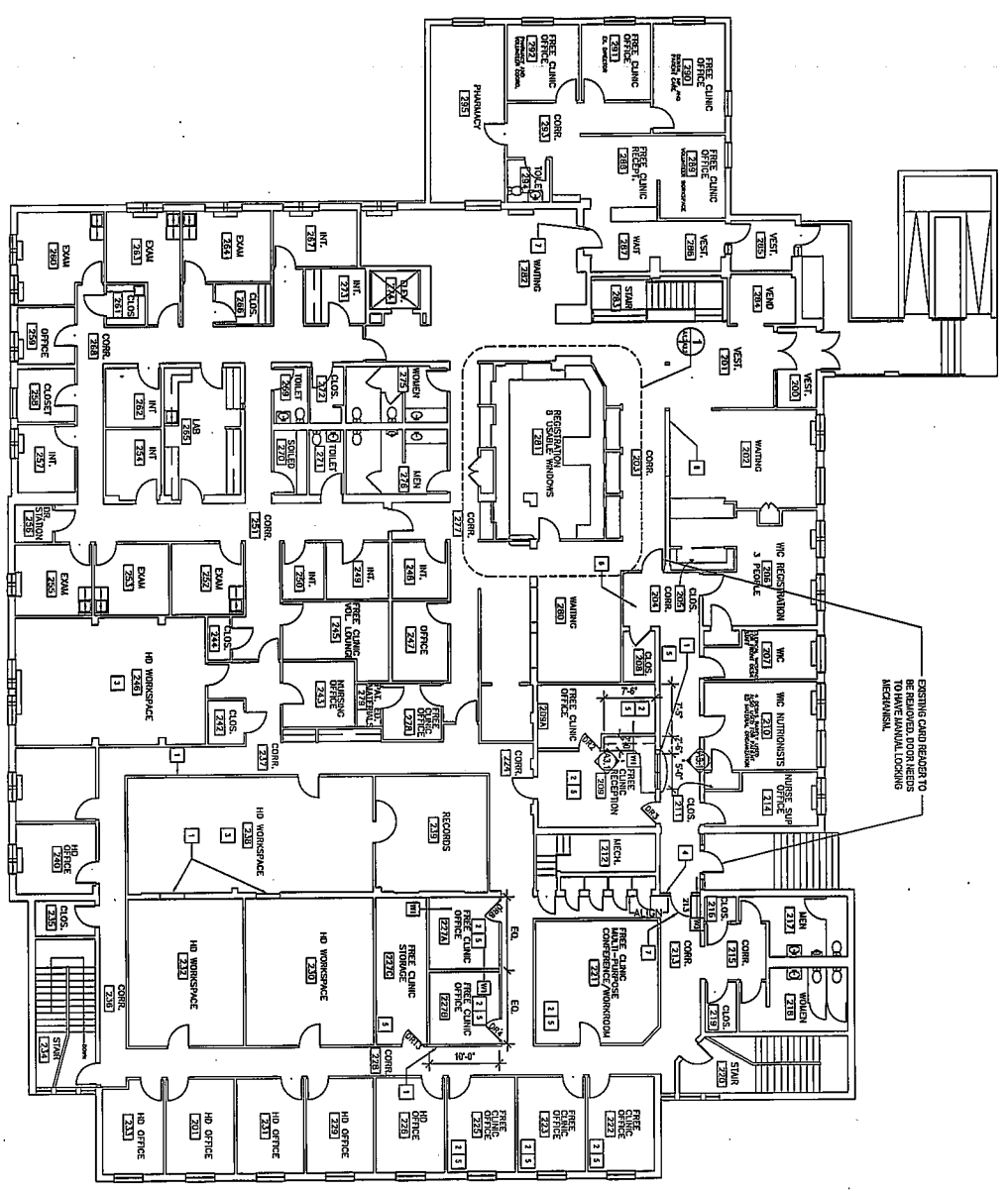
100 10TH STREET, NE, SUITE 200
CHARLOTTESVILLE, VA 22802
T 434.971.8848
F 434.296.3040

www.daggettgrigg.com

CHARLOTTESVILLE FREE CLINIC RENOVATION AT
CHARLOTTESVILLE/ABEMARLE COUNTY HEALTH DEPT.
1138 ROSE HILL DRIVE
CHARLOTTESVILLE, VIRGINIA

PROPOSED LOWER LEVEL PLAN - PHASE ONE

REVISIONS:	1.23.09
PROJECT #:	0623
DATE:	12.09.08
DRAWING NUMBER:	A1.1



PROPOSED UPPER LEVEL PLAN - PHASE ONE
SCALE: 1/8" = 1'-0"

EXISTING CARD READERS TO
HAVE MANUAL LOCKING
MECHANISM.

CONSTRUCTION NOTES

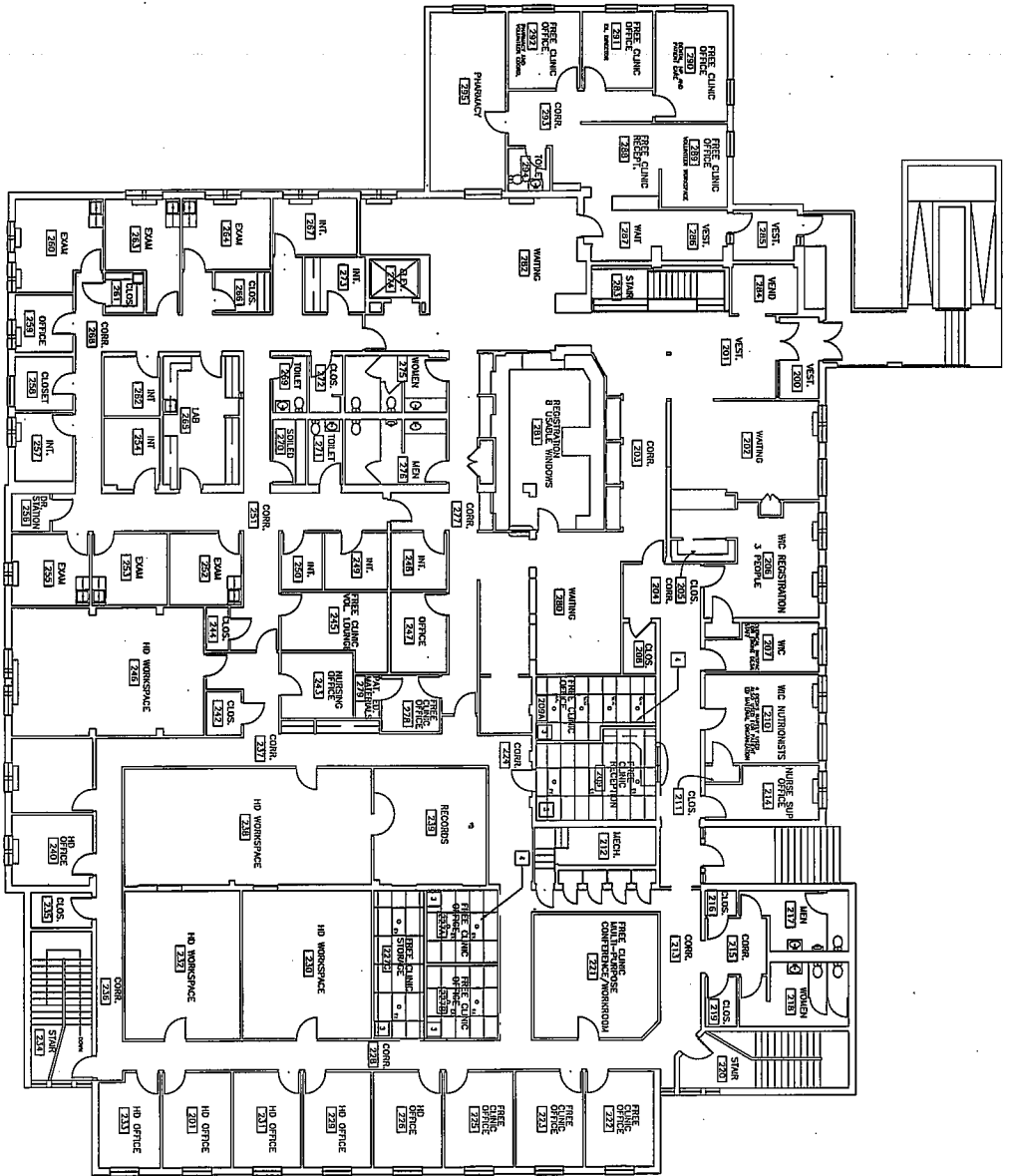
- 1 FINISH WALL WHERE DOOR/WINDOW WAS REMOVED. MATCH WALL CONSTRUCTION AND FINISH WALL TYPE W/2, 7/8"
- 2 NEW DATA AND PHONE LINES (DEDICATED TO FREE CLINIC) TO BE ADDED IN ROOMS 209, 209A, 209B, 211, 222, 223, 225, 226, 227A, AND 227B.
- 3 ROOMS 231A AND 241C TO HAVE INCREASED NUMBER OF OCCUPANTS. HVAC SUPPLY WILL HAVE TO BE DETERMINED. SEE FURNITURE PLAN FOR LAYOUT AND NUMBER OF DESKS.
- 4 WALL TO GO TO UNDERSIDE OF CEILING GRID ONLY. BRACE AS REQUIRED.
- 5 FULLY REPAIR FLOOR.
- 6 IN CORRIDOR 204 REMOVE WALL COVERING AND MAKE POINT REPAIR. REMOVE VOT IMPEDION DEVICES.
- 7 DOORS TO HAVE ELECTRONIC CARD READERS AND STRIKES. CARD READERS TO BE INSTALLED BY OTHERS.
- 8 EXISTING HALF HEIGHT WALL TO BE EXTENDED UP TO CEILING

*SEE SHEET T2 FOR GENERAL NOTES.

CONSTRUCTION LEGEND

	NEW CONSTRUCTION		NEW CASEROCK
	EXISTING WALL TO REMAIN		RESERVED ROOM WITH HOLLOW METAL FRAME
	NEXT DOOR AND HOLLOW METAL FRAME		EXISTING DOOR TO EXISTING WALL

<p>CHARLOTTESVILLE FREE CLINIC RENOVATION AT CHARLOTTESVILLE/ABEMARLE COUNTY HEALTH DEPT. 1138 ROSE HILL DRIVE CHARLOTTESVILLE, VIRGINIA</p>	<p style="text-align: center;">PROPOSED UPPER LEVEL PLAN - PHASE ONE</p>	<p style="text-align: right;">daggett + grigg architects</p> <p style="text-align: right;">100 10TH STREET, NE, SUITE 200 CHARLOTTESVILLE, VA 22902 T 434.971.6848 F 434.286.3040</p> <p style="text-align: right;">www.daggettgrigg.com</p>								
<p>REVISIONS</p> <table border="0"> <tr> <td style="width: 50px;">PROJECT #</td> <td style="width: 100px;">0623</td> <td style="width: 50px;">DATE</td> <td style="width: 100px;">12.09.08</td> </tr> <tr> <td>DRAWING NUMBER:</td> <td colspan="3" style="text-align: center; font-size: 2em;">A1.2</td> </tr> </table>	PROJECT #	0623	DATE	12.09.08	DRAWING NUMBER:	A1.2			<p>1.23.09</p>	
PROJECT #	0623	DATE	12.09.08							
DRAWING NUMBER:	A1.2									



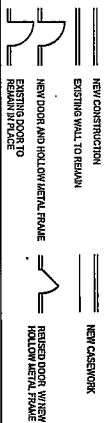
ROP UPPER LEVEL - PHASE ONE
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- 1 EXISTING CEILING GRID.
- 2 EXTEND EXISTING CEILING GRID ORIENTATION.
- 3 CENTER NEW GRID IN ROOM.
- 4 LIGHT FIXTURE, NEW (MATCH EXISTING) OR REUSE.

SEE SHEET T2 FOR GENERAL NOTES.

CONSTRUCTION LEGEND



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T 434.971.8648
F 434.296.3040

www.daggettgrigg.com

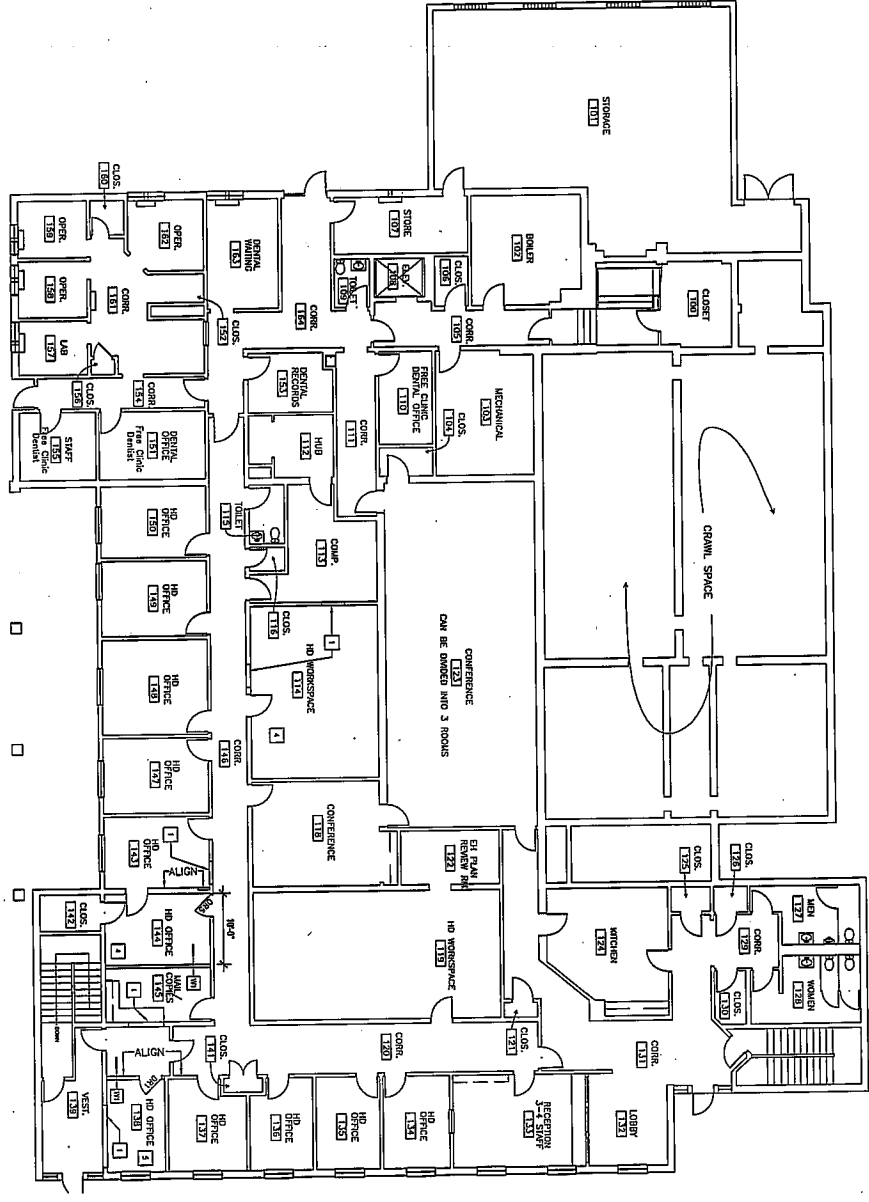
CHARLOTTEVILLE FREE CLINIC RENOVATION AT
CHARLOTTEVILLE/ABEMARLE COUNTY HEALTH DEPT.
1138 ROSE HILL DRIVE
CHARLOTTEVILLE, VIRGINIA

REFLECTED CEILING PLAN UPPER LEVEL - PHASE ONE

1.23.09

PROJECT # 0623 DATE 12.09.08

DRAWING NUMBER: A1.4



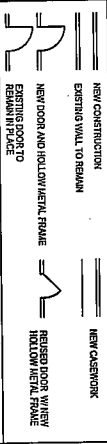
PROPOSED LOWER LEVEL PLAN - PHASE TWO
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- 1 INFILL WALL WHERE DOOR/WINDOW WAS REMOVED. MATCH WALL CONSTRUCTION AND FINISH. WALL TYPE W2, TYP.
- 2 NEW DATA AND PHONE LINES (GENERATED TO FREE CLINIC TO BE ADDED IN ROOMS 209, 209N, 209S, 211, 222, 223, 225, 227A, AND 227B).
- 3 ROOMS 238 AND 246 TO HAVE INCREASED NUMBER OF OCCUPANTS. HAVE SUPPLY WALL HAVE TO BE DEMOLISHED. SEE FURNITURE PLAN FOR LAYOUT AND NUMBER OF DESKS.
- 4 FULLY REPAINT ROOM.
- 5 REMOVE WALL COVERING AND FULLY REPAINT ROOM.

*SEE SHEET T2 FOR GENERAL NOTES.

CONSTRUCTION LEGEND



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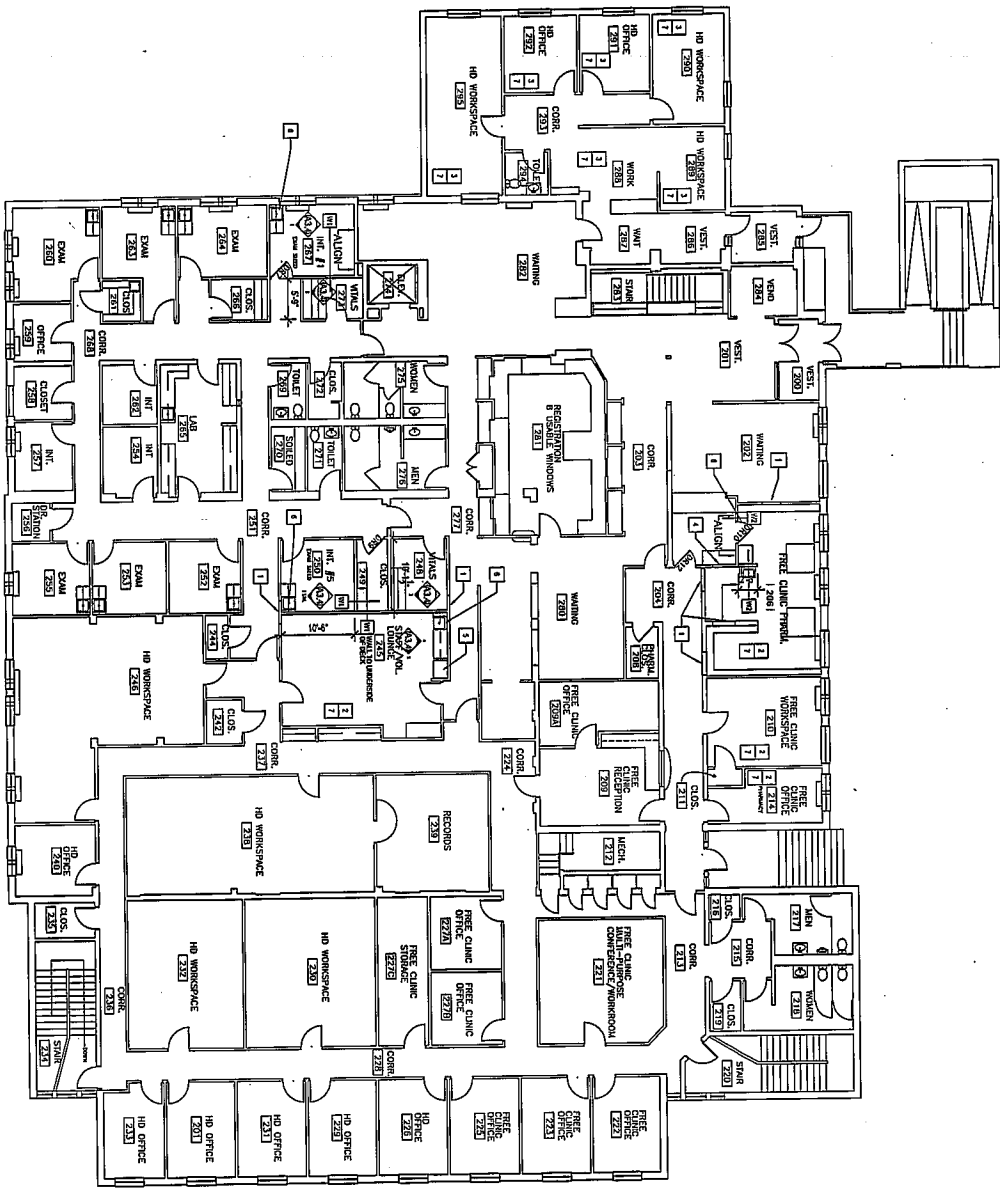
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CHARLOTTESVILLE FREE CLINIC RENOVATION AT
CHARLOTTESVILLE/ABEMARLE COUNTY HEALTH DEPT.
1136 ROSE HILL DRIVE
CHARLOTTESVILLE, VIRGINIA

PROPOSED LOWER LEVEL PLAN - PHASE TWO

REVISIONS:	1.23.09
PROJECT #	0623
DATE	12.09.08
DRAWING NUMBER:	A2.1



PROPOSED UPPER LEVEL PLAN - PHASE TWO
 SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

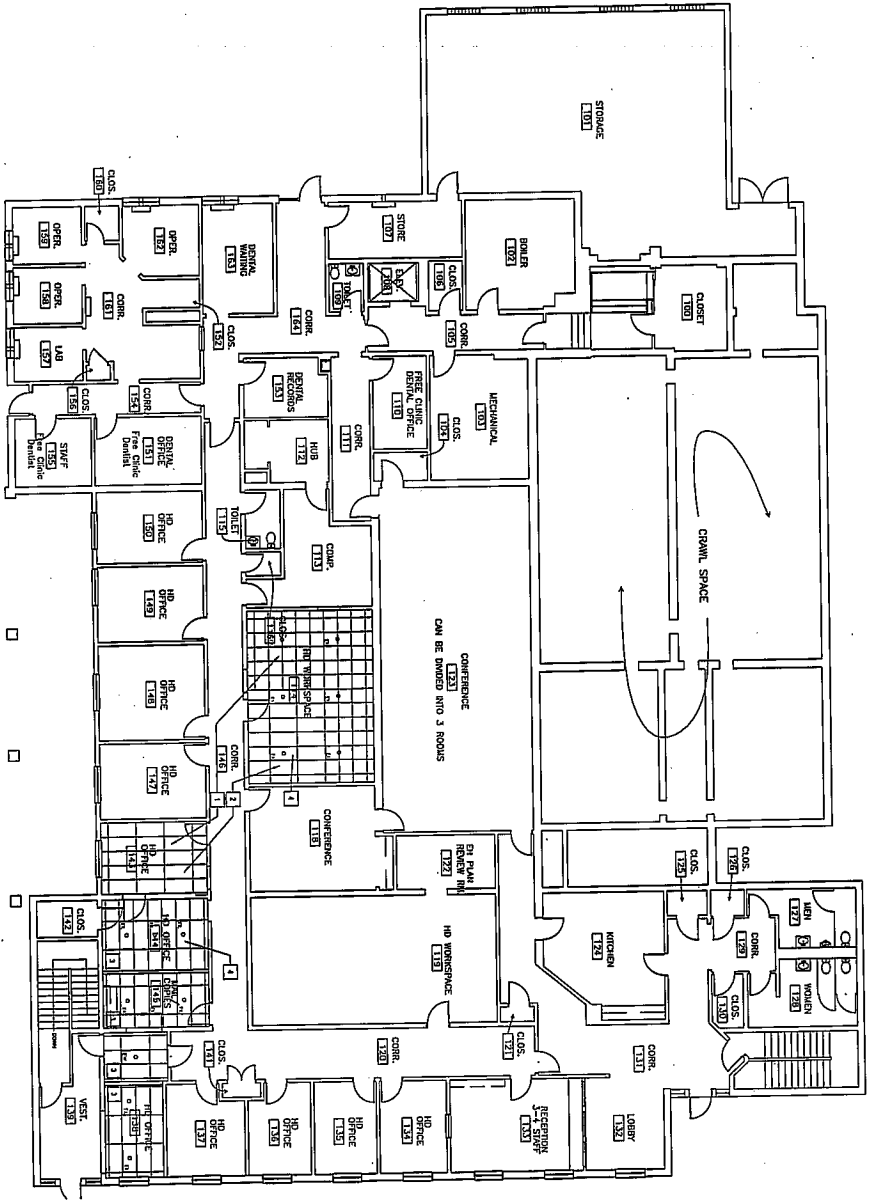
- 1 FINISH WALL WHERE DOOR/WINDOW WAS REMOVED. MATCH WALL CONSTRUCTION AND FINISH WALL TYPE AND TYPE.
- 2 NEW DATA AND PHONE LINES (DEDICATED TO FREE CLINIC) TO BE ADDED IN ROOMS 206, 207, 214, AND 215.
- 3 NEW DATA AND PHONE LINES (DEDICATED TO HEALTH DEPARTMENT) TO BE ADDED IN ROOMS 208, 209, 214, 212, AND 205. ROOM 205 WALL CONTINUE TO BE USED BY FREE CLINIC UNTIL ROOM 208 IS FULLY OPERATIONAL. WORKING LINES SHALL REMAIN UNTIL THEN.
- 4 HOLD ON METAL FRAMED PASS-THRU WINDOW (P/N: 47474, HEAD HEIGHT 65" AFF.). PROVIDE WATER LINE TO CONNECT TO NEW REFRIGERATOR ICE MAKER.
- 5 NEW STAINLESS STEEL SINGLE-BOWL SINK.
- 6 FULLY REPAIR ROOF.
- 7 DOOR MUST HAVE LOCK AND ALARM - PER PHARMACY CODE REQUIREMENTS.

*SEE SHEET T2 FOR GENERAL NOTES.

CONSTRUCTION LEGEND

	NEW CONSTRUCTION		NEW CASWORK
	EXISTING WALL TO REMAIN		RAISED DOOR WHEN HOLLOW METAL FRAME
	NEW DOOR AND HOLLOW METAL FRAME		EXISTING DOOR TO REMAIN

<p>CHARLOTTESVILLE FREE CLINIC RENOVATION AT CHARLOTTESVILLE/ABEMARLE COUNTY HEALTH DEPT. 1138 ROSE HILL DRIVE CHARLOTTESVILLE, VIRGINIA</p> <p>PROPOSED UPPER LEVEL PLAN - PHASE TWO</p>	<p>daggett + grigg architects</p> <p>100 10TH STREET, NE, SUITE 200 CHARLOTTESVILLE, VA 22902 T 434.971.8848 F 434.295.3040</p> <p>www.daggettgrigg.com</p>	<p>REVISIONS: 1.23.09</p> <p>PROJECT #: 0623 DATE: 12.09.08</p> <p>DRAWING NUMBER: A2.2</p>
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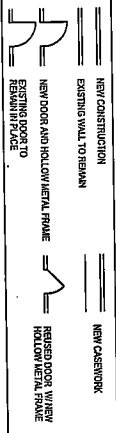
RCP LOWER LEVEL - PHASE TWO
 SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- 1 EXISTING CEILING GRID.
- 2 EXTEND EXISTING CEILING GRID ORIENTATION.
- 3 CENTER NEW GRID IN ROOM.
- 4 TYP. LUMIN. FIXTURE, NEW (MATCH EXISTING OR REUSE).

*SEE SHEET T2 FOR GENERAL NOTES.

CONSTRUCTION LEGEND



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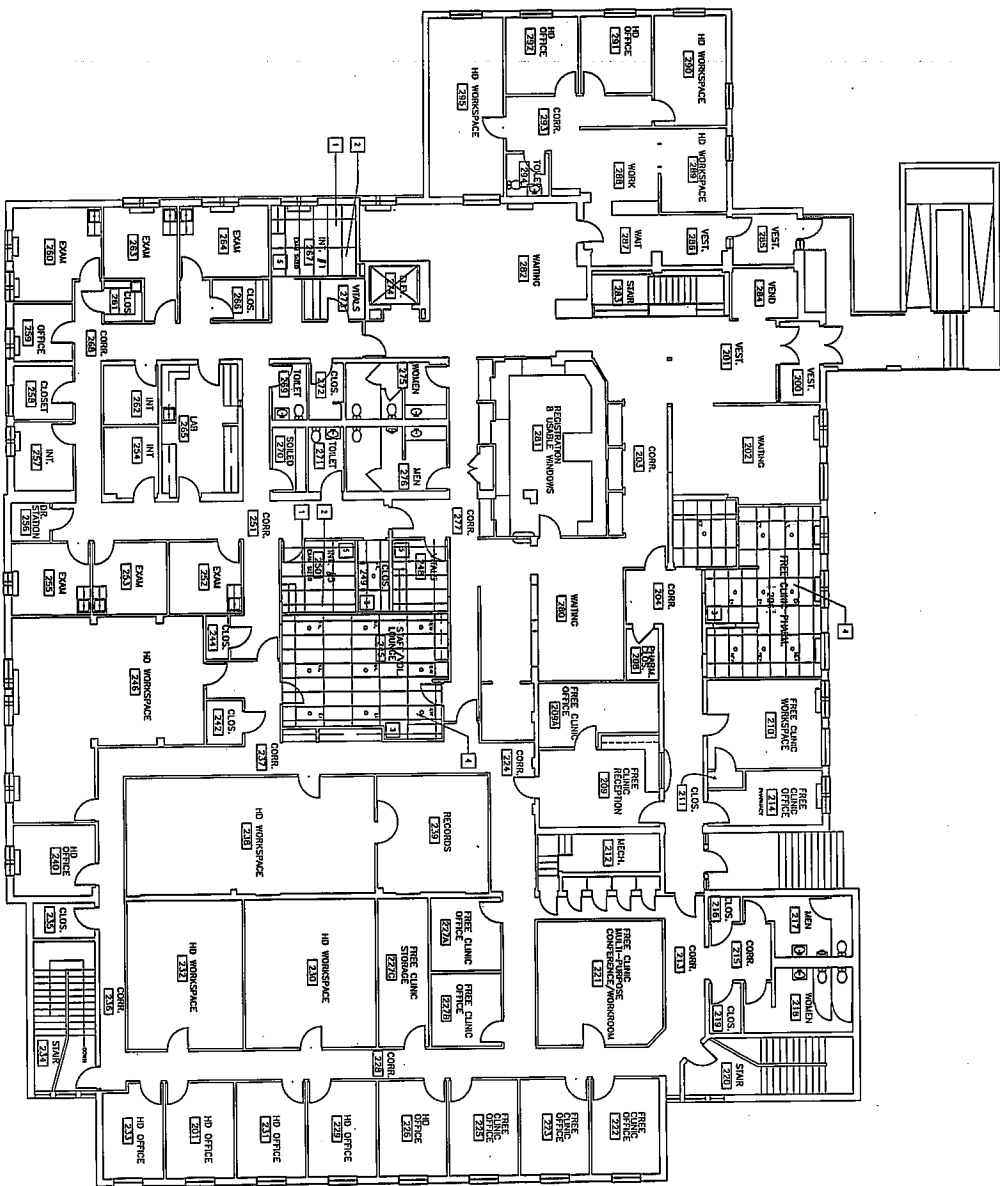
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REFLECTED CEILING PLAN LOWER LEVEL - PHASE TWO

REVISIONS: 1.23.09
 PROJECT #: 0623
 DATE: 12.09.08
 DRAWING NUMBER: A2.3

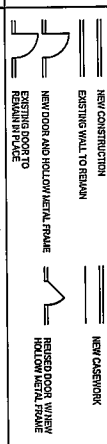


RCP UPPER LEVEL - PHASE TWO
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- 1 EXISTING CEILING GRID.
- 2 EXTEND EXISTING CEILING GRID ORIENTATION.
- 3 CENTER NEW GRID IN ROOM.
- 4 TYP. LIGHT FIXTURE, NEW (MATCH EXISTING OR REUSED).
- 5 NO CHANGE TO LIGHT LOCATIONS.

*SEE SHEET 12 FOR GENERAL NOTES.

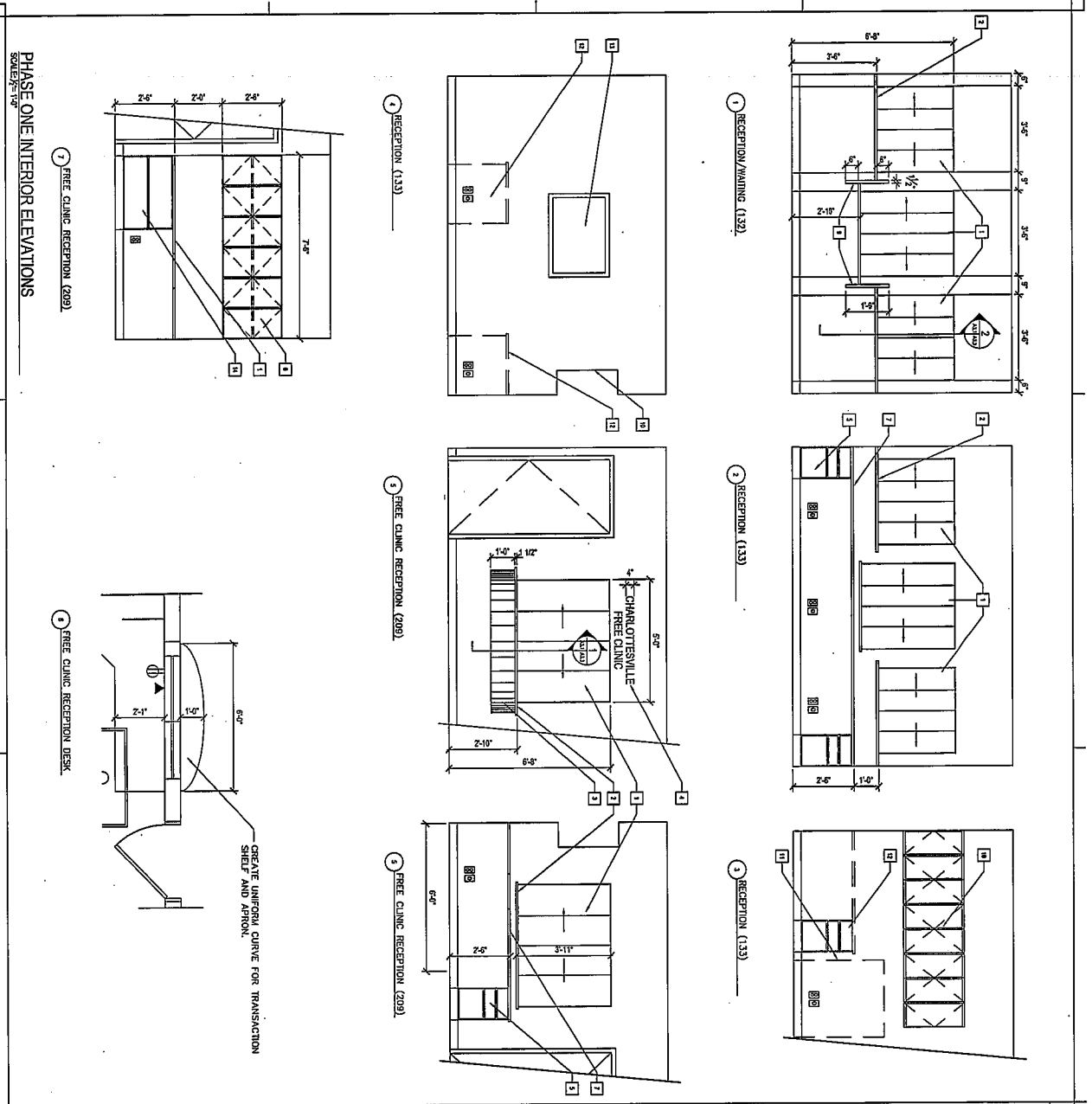


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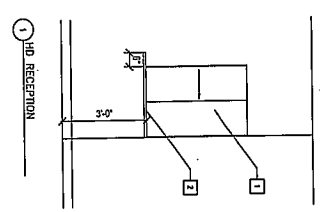
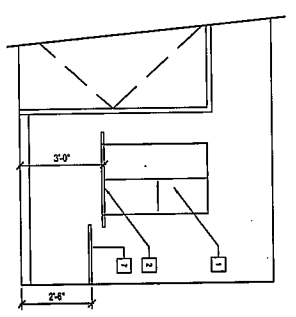
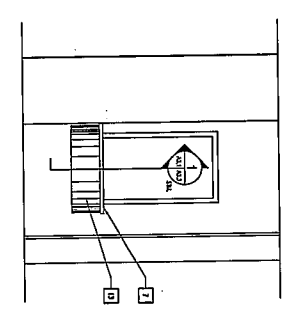
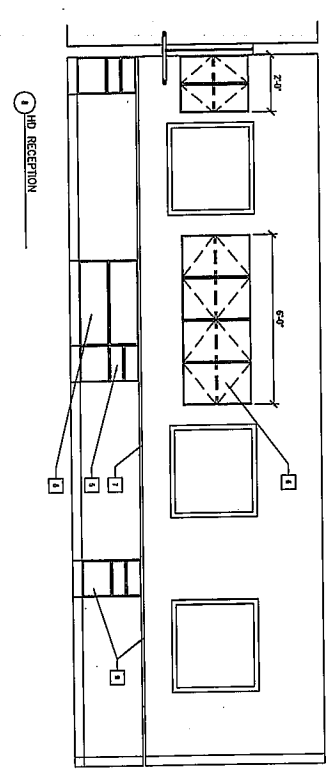
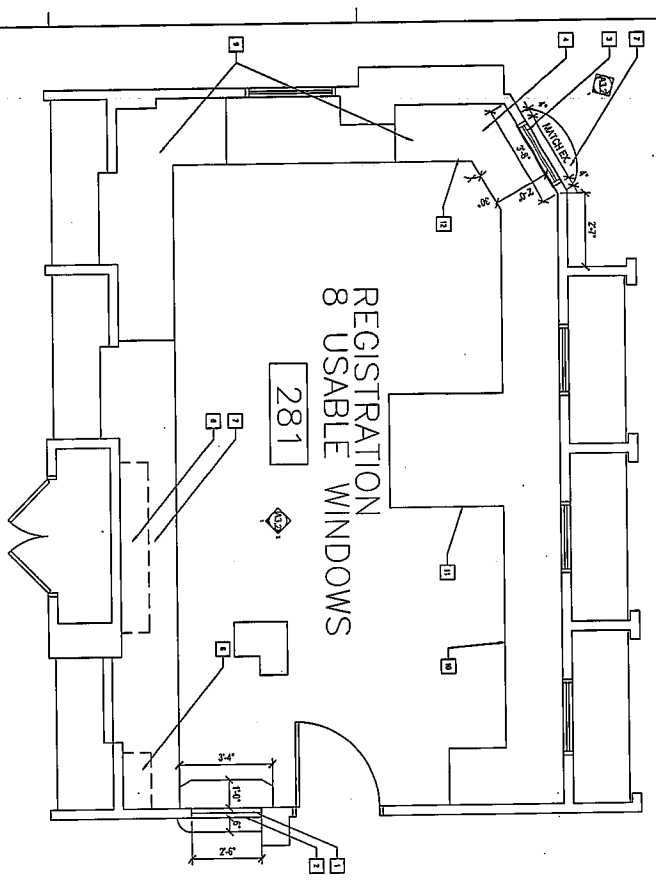
REFLECTED CEILING PLAN UPPER LEVEL - PHASE TWO

RESPONSE: 1.23.09
PROJECT #: 0623
DATE: 12.09.08
DRAWING NUMBER: A2.4



- CONSTRUCTION NOTES**
- 1 SHINE GLASS THROUGH WINDOW. SEE PLANS FOR WINDOW. 1/2" TEMPERED GLASS W/ CALIBRANCE ALUMINUM THICK ASSSEMBLY. DRYAL. PROVIDE TRACK FLANGER WITH BULGED EDGE.
 - 2 RECESS SLIDING WINDOW TRACK INTO 1/2" THICK HARDWOOD TRANSACTION SHELF WITH BULGED EDGE.
 - 3 3/4" THICK PLYWOOD TRANSACTION COUNTER APRON. EXTERIOR FACES FINISHED WITH 4" METAL CHANNEL LETTERS.
 - 4 1/2" 3 DMR. PERSPECTAL TYP.
 - 5 12" DEEP WALL CABINETS.
 - 6 1/2" THICK PLASTIC LAMINATE COUNTER.
 - 7 BASE CABINET.
 - 8 1/2" THICK HARDWOOD "PRIVACY PANEL".
 - 9 REISSUED EXISTING UPPER CABINETS.
 - 10 OWNER FURNISHED FLOOR COVER.
 - 11 OWNER FURNISHED 30" DEEP 5' LONG DESK.
 - 12 REISSUED EXISTING PICTURE WINDOW.
 - 13 PLASTIC LAMINATE 1/2" OVER LAMBER LINE OWNER BASE.

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CONSTRUCTION NOTES

- 1 SLIP ON PAST TRIM WINDOW, SEE PLANS FOR WIDTH, 1/2" TEMPERED GLASS W/ GELADRENCE ALUMINUM TRUCK ASSEMBLY, 1/2" X 1/2" TRUCK PLYWOOD TRANSMISSION SHELF WITH BULLNOSED EDGE.
- 2 NEW HOLLOW METAL FRAMED TRANSMISSION WINDOW, REPAIR EXISTING SECURITY HULL USING SCREWS.
- 3 MODIFY EXISTING COUNTER FOR 30 DEGREE ANGLE.
- 4 1/2" 3 DOW, PERSPECTAL, TRP.
- 5 12" DEEP WALL CABINETS.
- 6 1/2" THICK PLASTIC LAMINATE COUNTER.
- 7 PLASTIC LAMINATE 3" WIDE LAMINATE, IN DRAWER BASE.
- 8 EXISTING CUSTOMER COUNTER TO REMAIN.
- 9 PROVIDE NEW LOCKING CASH DRAWER TO MATCH EXISTING.
- 10 REUSE EXISTING LOCKBOX.
- 11 REMOVE EXISTING LOCKBOX, (TO BE REUSED IN NEW LOCATION)
- 12 1/2" THICK PLASTIC TRANSMISSION COUNTER APPROX. EXTERIOR FACES FINISHED WITH PLASTIC LAMINATE. SEE PLANS FOR SIZE.

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PHASE ONE INTERIOR ELEVATIONS - HD
 RECEPTION DESK

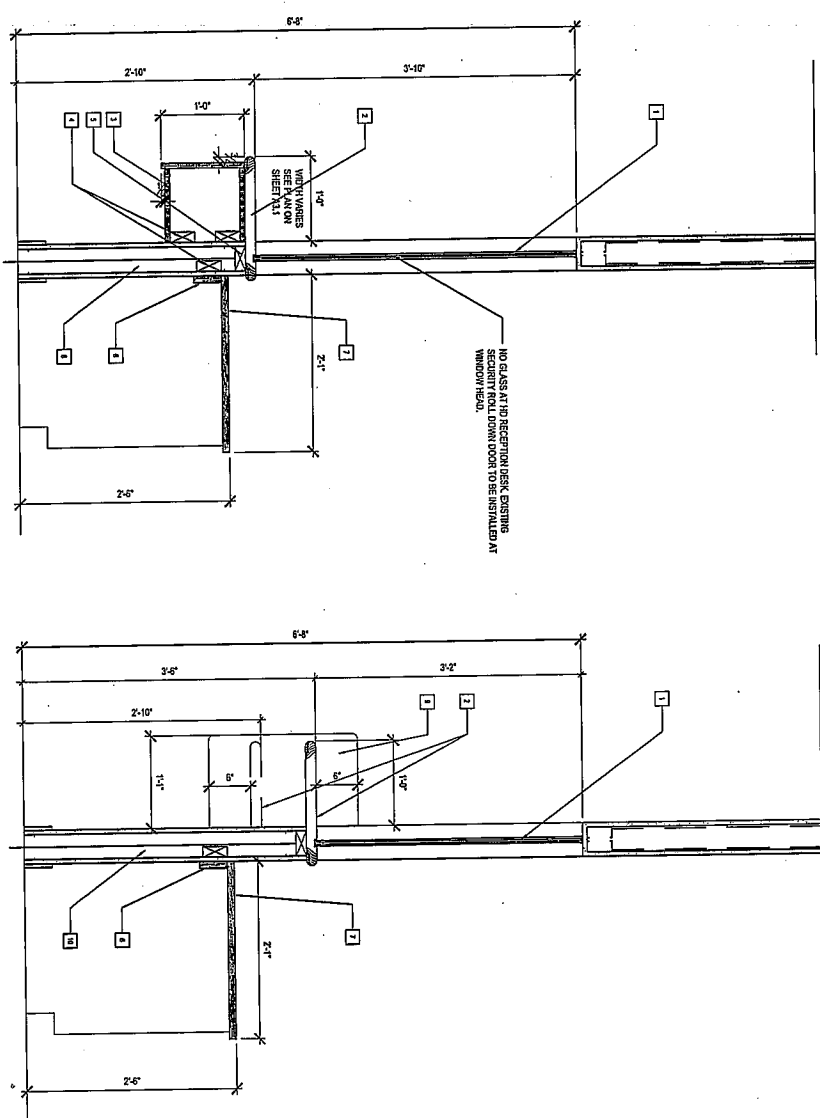
REVISIONS: 1.23.09

PROJECT #: 0623 DATE: 12.09.08

DRAWING NUMBER: A3.2

PHASE ONE INTERIOR ELEVATIONS - HD RECEPTION DESK
 SCALE: 1/4" = 1'-0"

PHASE ONE DETAILS
SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES

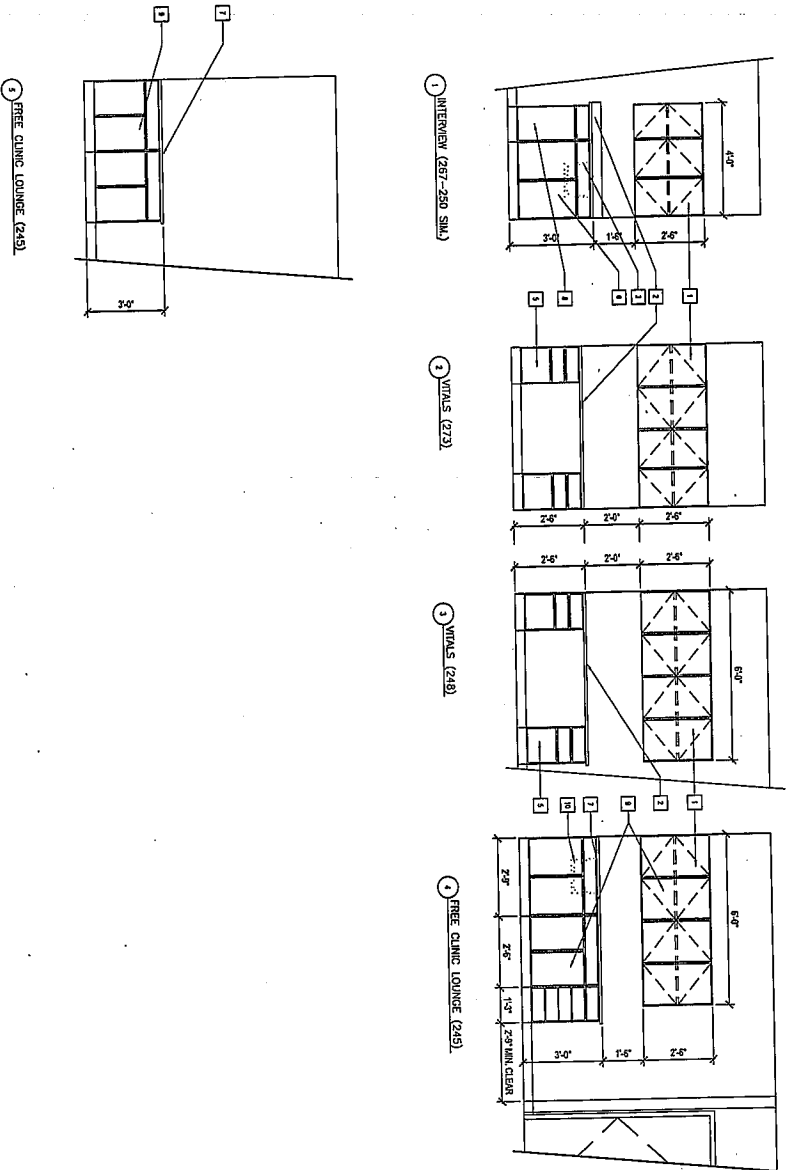
1. SQUARE PINE TRIM WINDOW. SEE PLANS FOR TRIM. 1/2" TYPED GLASS FOR RECEPTION. ALUMINUM TRACKS AND 1/2" THICK WOODEN TRANSITION STRIP WITH BULLNOSE EDGE.
2. 1/2" THICK PLASTIC TRANSITION PANELS FROM EXTERIOR FACES FINISHED WITH FINISH LAMINATE. SEE PLANS FOR SIZE OF CASSETTE AT JOINTS.
3. 1/2" THICK PLASTIC TRANSITION PANELS FROM EXTERIOR FACES FINISHED WITH CONTINUOUS WOOD WALE.
4. 1/2" THICK PLASTIC LAMINATE CORNER.
5. MATCH EXISTING WALL THICKNESS.
6. 1/2" THICK WOODEN PRIVACY PANEL.
7. 3/8" GYP. DR. EACH SIDE OF 3/4" METAL STUD, 16 GA. W. O.C.

REVISIONS: 1.23.09
 PROJECT #: 0623
 DATE: 12.09.08
 DRAWING NUMBER: A3.3

CHARLOTTESVILLE FREE CLINIC RENOVATION AT
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 PHASE ONE INTERIOR DETAILS

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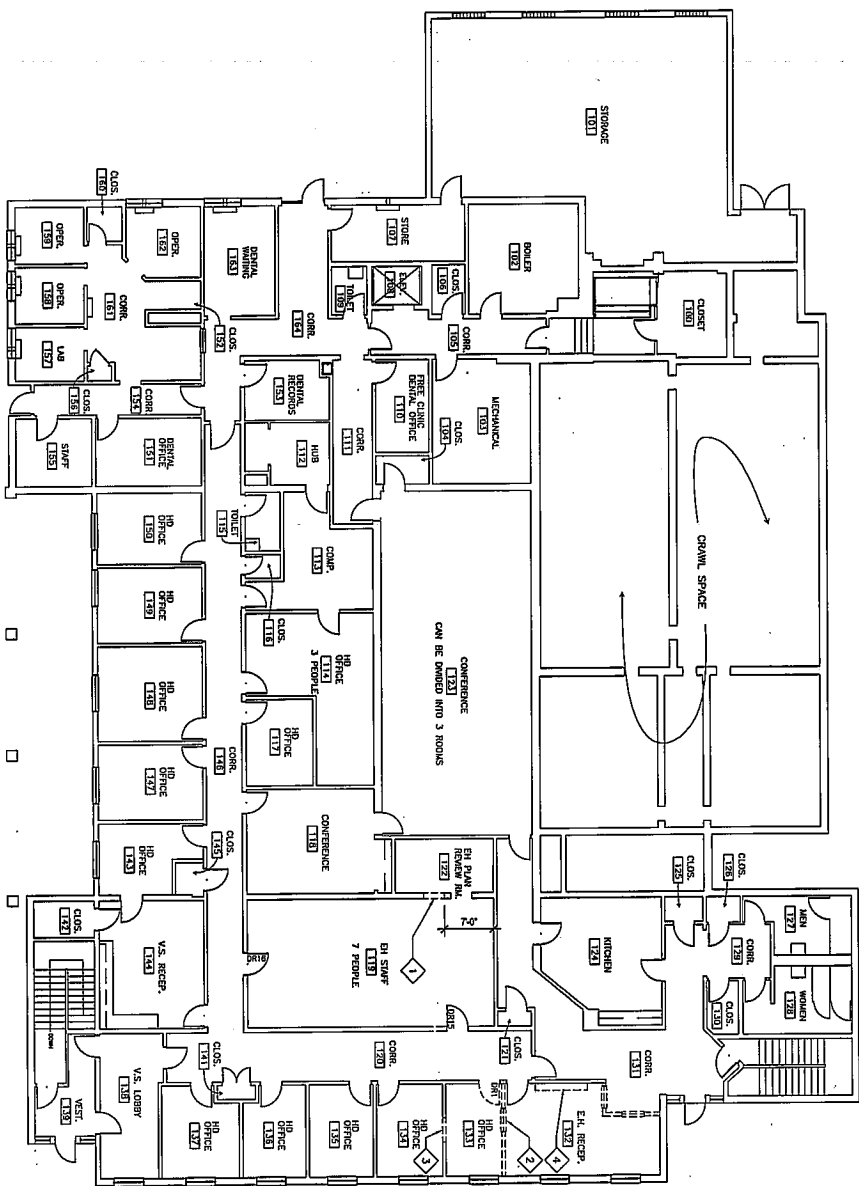
PHASE TWO INTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"



CONSTRUCTION NOTES

- 1 WALL CABINETS, MATCH EXISTING EXAM ROOM CABINETS.
- 2 COUNTERTOP WITH INTEGRAL BACKSPLASH, MATCHING EXISTING EXAM ROOM COUNTERS.
- 3 GRANITE OR EQUAL, STAINLESS STEEL HANDSINK WITH GOOSENECK FACET.
- 4 4" DIA. BASE, MATCH EXISTING EXAM ROOM CABINETS.
- 5 1/2" DIA. PERSIAL, TP.
- 6 SINK BASE, MATCH EXISTING EXAM ROOM CABINETS.
- 7 1/2" THICK PLASTIC LAMINATE COUNTER (ANGLED SUPPORTS AS REQ'D)
- 8 BASE CABINET, MATCH EXISTING EXAM ROOM CABINETS.
- 9 WHITE BROTHERMAN, OR EQUAL, CABINETS.
- 10 GRANITE OR EQUAL, STAINLESS STEEL HANDSINK WITH GOOSENECK FACET.
- 11 3/4" DIA. PERSIAL, TP.
- 12 EXISTING PANS THROUGH WINDOWS, TP.
- 13 NEW OSBORK TO MEET EXISTING.

<p>A3.4</p>	<p>PHASE TWO INTERIOR ELEVATIONS</p>	<p>daggett + grigg architects 100 10TH STREET, NE, SUITE 200 CHARLOTTEVILLE, VA 22902 T 434.971.8848 F 434.296.3040 www.daggettgrigg.com</p>
	<p>CHARLOTTESVILLE FREE CLINIC RENOVATION AT CHARLOTTESVILLE/ABEMARLE COUNTY HEALTH DEPT. 1138 ROSE HILL DRIVE CHARLOTTESVILLE, VIRGINIA</p>	
<p>REVISIONS: 1.23.09</p>	<p>DATE: 12.09.08</p>	<p>PROJECT #: 0623</p>
<p>DRAWING NUMBER:</p>	<p>DATE:</p>	<p>PROJECT #:</p>



LOWER LEVEL DEMOLITION PLAN - PHASE ONE
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

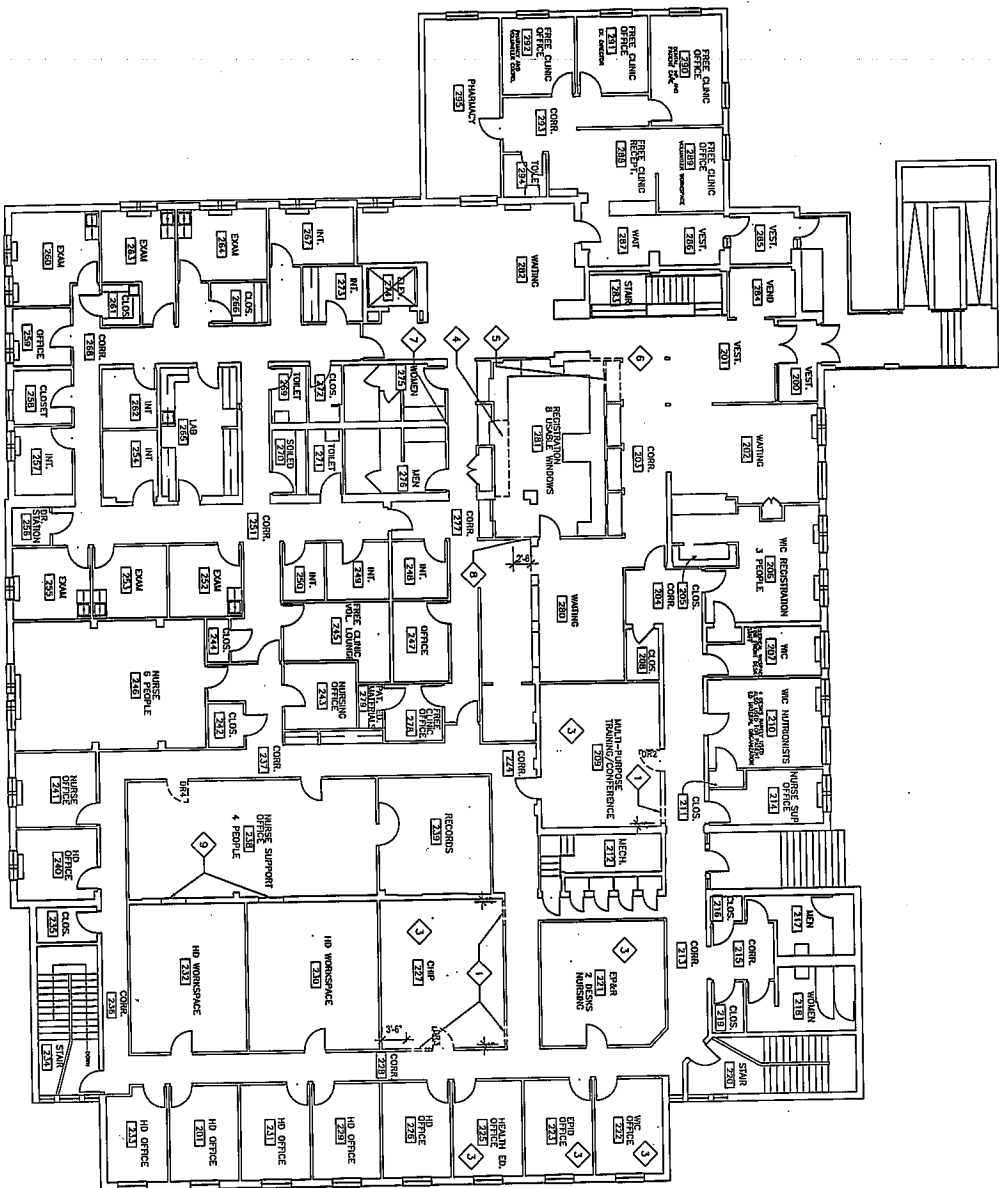
- 1 HEAD WALL FOR NEW DOOR AND HOLLOW-METAL FRAME DOOR MAY BE REUSED, V.L.F.
- 2 REMOVE INTERIOR WINDOW AND FRAME WINDOW TO BE REUSED IN ROOM 134
- 3 HEAD WALL FOR REUSE INTERIOR FRAME FROM ROOM 124 (CENTER WINDOW IN WALL HEAD HEIGHT TO MATCH EXISTING LOCATION)
- 4 EXISTING UPPER CABINETS TO BE REUSED AND SAVED FOR REUSE. SEE SHEET A1.1 FOR NEW LOCATION.

* SEE SHEET T2 FOR GENERAL DEMOLITION NOTES

CONSTRUCTION LEGEND

=====	WALL TO BE REMOVED
=====	EXISTING WALL TO REMAIN
=====	EXISTING DOOR TO BE REUSED
=====	EXISTING DOOR TO REMAIN IN PLACE

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UPPER LEVEL DEMOLITION PLAN - PHASE ONE
SCALE: 1/8" = 1'-0"

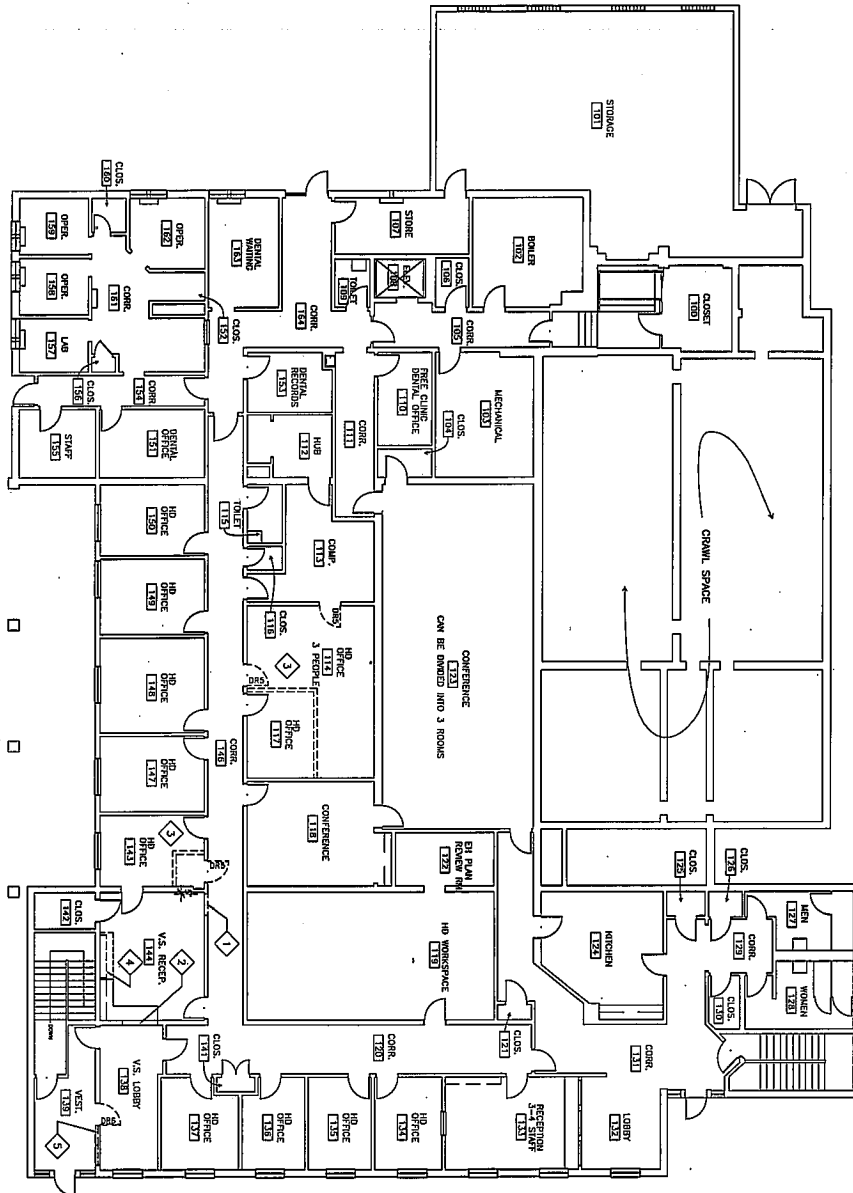
DEMOLITION NOTES

- 1 DEMO WALL FOR NEW DOOR AND HOLLOW-METAL FRAME. DOOR MAY BE REUSED. V.L.F.
- 2 REMOVE WALL TO 6" BELOW CEILING GRID TO CREATE BALCONY. CEILING TO REMAIN UNCHANGED.
- 3 REMOVE ALL DATA AND PHONE WIRING FROM ROOMS 206, 221, 222, 223, 225 AND 227.
- 4 DEMO 36" HIGH CASEWORK.
- 5 REMOVE EXISTING SECURITY WINDOW. TO BE REUSED IN NEW LOCATION.
- 6 WALLS AND CEILING TO BE REMOVED TO CREATE NEW RECEPTION AREA. SEE SHEET A22 FOR EXHIBED/CLAD AND DEMO MARK.
- 7 REMOVE WHEN SOUVENIR AND PUNCH WALL.
- 8 DEMO WALL FOR NEW TRANSLUCENT WINDOW.
- 9 REMOVE 2 EXISTING WINDOWS AND TRIM.

* SEE SHEET 12 FOR GENERAL DEMOLITION NOTES.



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<p>REVISIONS: 1/23/09</p> <p>PROJECT #: 0623 DATE: 12/09/08</p> <p>DRAWING NUMBER: D1.2</p>	

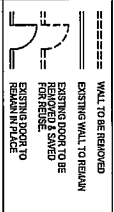


LOWER LEVEL DEMOLITION PLAN - PHASE TWO
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

- 1 DEMO WALL FOR NEW DOOR AND HOLLOW-METAL FRAME. DOOR MAY BE REUSED. VUE.
- 2 REMOVE CASEWORK AND TRANSACTION WINDOWS.
- 3 CEILING IN ROOMS 114 AND 143 TO BE DEMOLISHED. SEE REFLECTED CEILING PLANS FOR NEW CEILING.
- 4 REMOVE COUNTER AT BREAK. REMOVE ALL BRIT F&P OF UPPER CABINETS.
- 5 REMOVE STOREFRONT WINDOW SYSTEM WALL TO BE INFILLED WITH GYPSUM WALL PARTITION TO MATCH THICKNESS OF EXISTING WALL. EXTERIOR FACE OF WALL PAINTED TO MATCH BRICK.

* SEE SHEET T2 FOR GENERAL DEMOLITION NOTES.



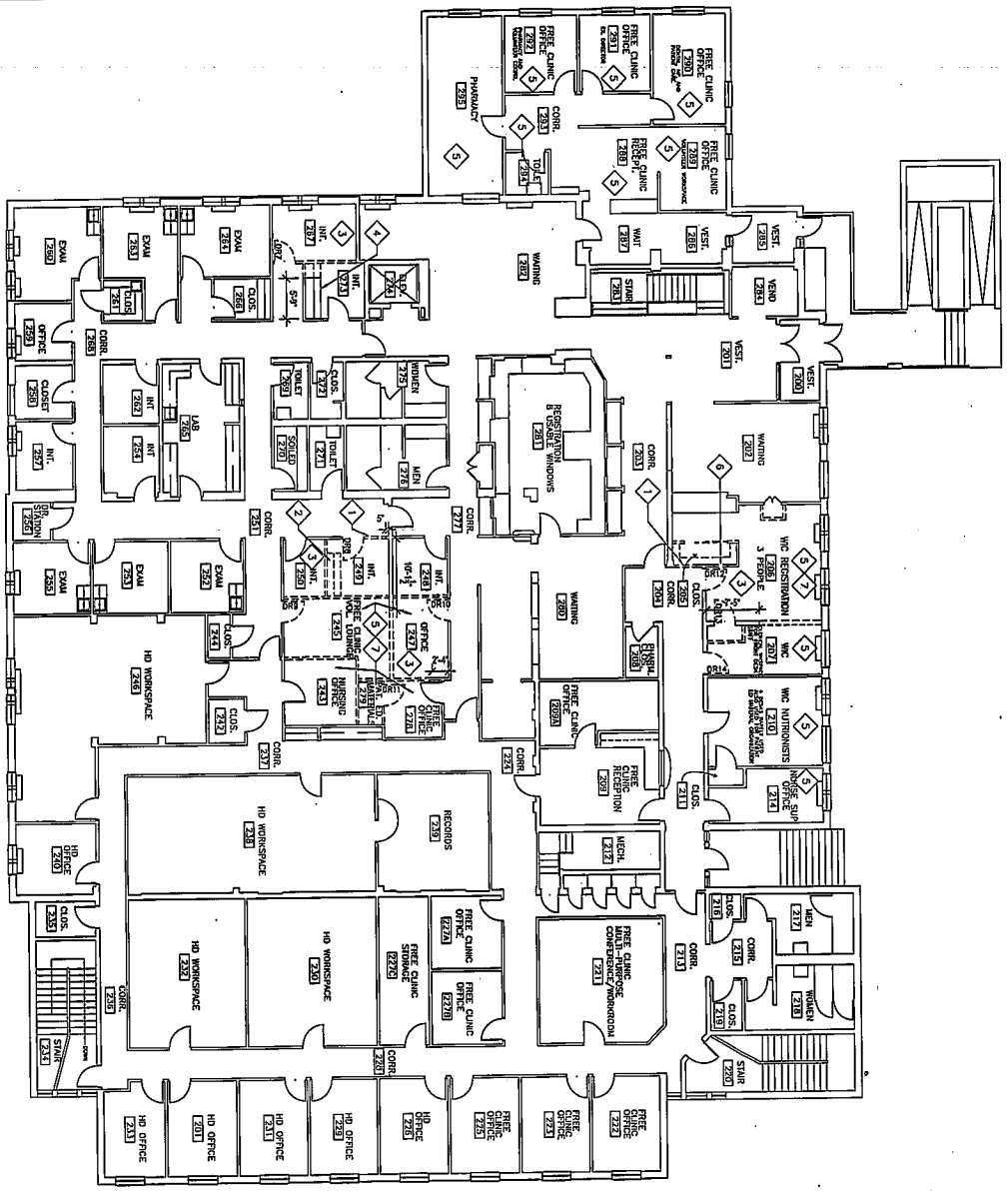
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LOWER LEVEL DEMOLITION PLAN - PHASE TWO

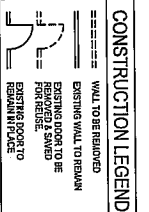
REVISIONS: 1.23.09
 PROJECT #: 0623 DATE: 12.09.08
 DRAWING NUMBER: D2.1

UPPER LEVEL DEMOLITION PLAN - PHASE TWO
SCALE: 1/4" = 1'-0"



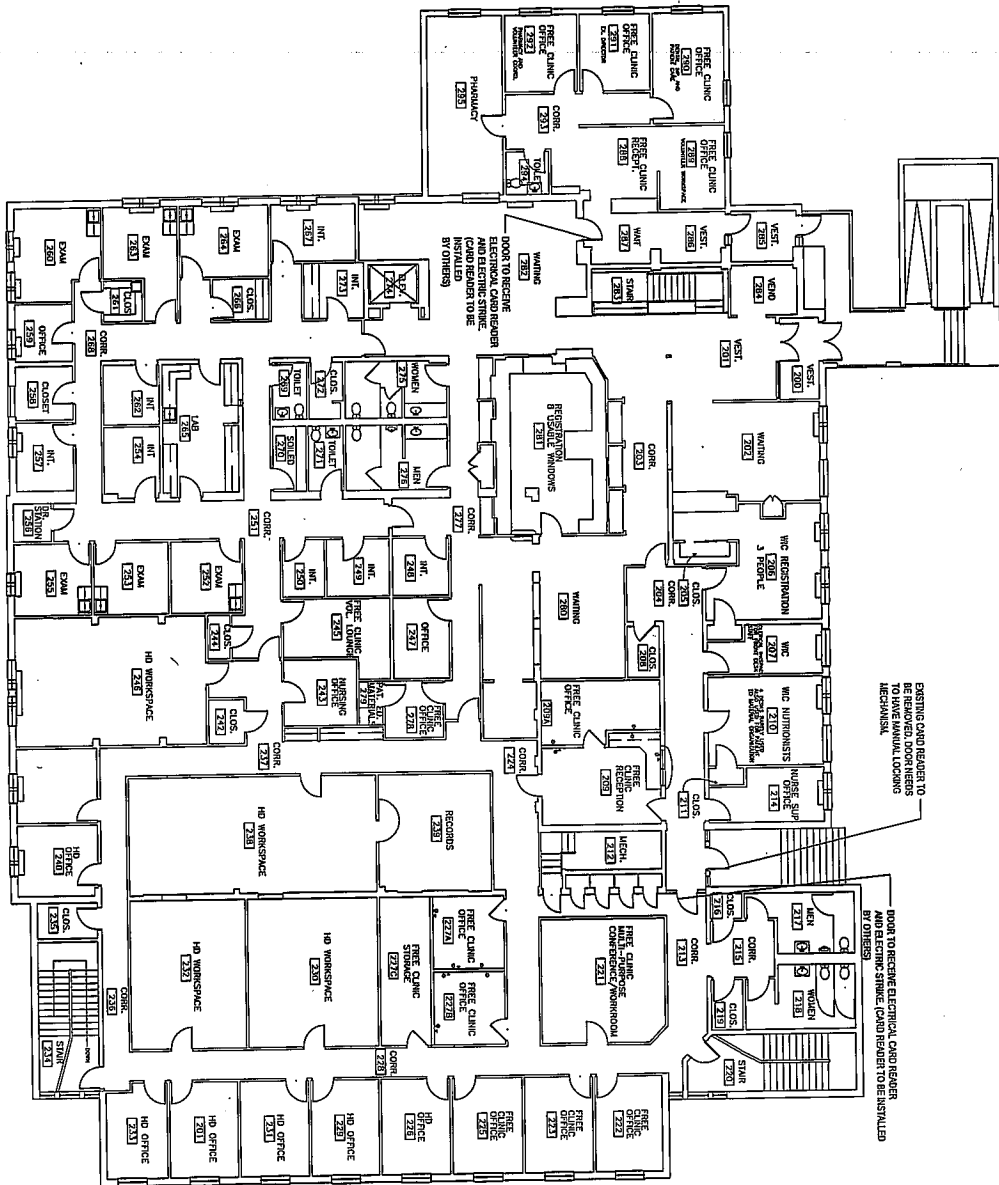
DEMOLITION NOTES

- 1 DEAD WALL FOR NEW DOOR AND HOLLOW-METAL FRAME DOORWAY BE REUSED, V.P.F.
- 2 REMOVE CASEROCK AND SNIP FOR POSSIBLE REUSE.
- 3 NEW SLABS TO BE ADDED IN ROOMS 206, 217, 204, AND 205. HEAD TO CEILING BELOW TO BE DEMOLISHED WITH TENANTS AND BE DONE OFF HOURS. AREA MUST BE SUITABLE FOR DAILY USE DURING CONSTRUCTION.
- 4 REMOVE EXISTING CASEROCK, SAVE FOR POSSIBLE REUSE. - V.P.F. WITH ARCHITECT.
- 5 REMOVE ALL DNA AND PHONE WIRING FROM ROOMS 206, 207, 210, 214, 215, 216, 217, 218, 219, 223, 224, 221, 222, 224, AND 225. FREE CLINIC PHARMACY TO CONTINUE TO WORK. MUST FURNISH FACILITY, HOME.
- 6 HEAD WALL FOR AN HOLLOW METAL FRAME PASS THROUGH WINDOW OR WALKWAY HEAD HEIGHT 8'7 1/2".
- 7 CEILING TO BE REMOVED. SEE REFLECTED CEILING PLANS FOR NEW LAYOUTS.



* SEE SHEET T2 FOR GENERAL DEMOLITION NOTES.

<p>CHARLOTTESVILLE FREE CLINIC RENOVATION AT CHARLOTTESVILLE/ABEMARLE COUNTY HEALTH DEPT. 1138 ROSE HILL DRIVE CHARLOTTESVILLE, VIRGINIA</p> <p>UPPER LEVEL DEMOLITION PLAN - PHASE TWO</p>	<p>daggett + grigg architects 100 10TH STREET, NE, SUITE 200 CHARLOTTESVILLE, VA 22902 T 434.971.8848 F 434.286.3040 www.daggettgrigg.com</p>
<p>REVISIONS: 1.23.09</p> <p>PRODUCT#: 0623</p> <p>DATE: 12.09.08</p> <p>DRAWING NUMBER: D22</p>	



PROPOSED UPPER LEVEL PLAN - PHASE ONE
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- ① ALL ELECTRICAL AND DATA OUTLETS SHOWN ARE IN AN ARE NEW, EXISTING OUTLETS NOT AFFECTED BY DISMANTLING TO REMAIN IN PLACE UNLESS NOTED OTHERWISE.
- ⊕ DUP-EX OUTLET TYP.
- ⊕ QUAD OUTLET TYP.
- ⊕ RELOCATE EXISTING OUTLET TO ABOVE NEW COUNTER.
- ⊕ VOICE-DATA-RDM OUTLET TYP.

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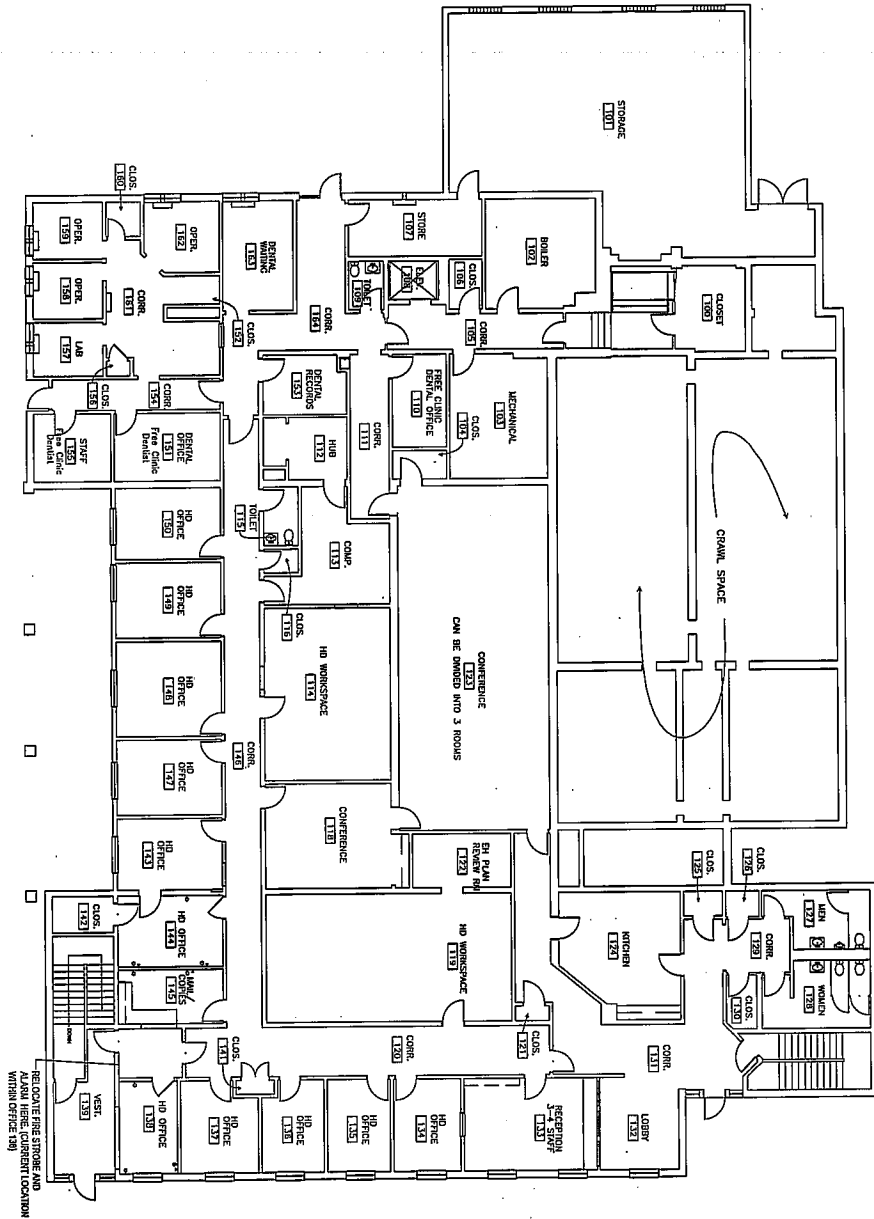
UPPER LEVEL ELECTRICAL PLAN - PHASE ONE

REVISIONS: 1.23.09

PROJECT #: 0823 DATE: 12.09.08

DRAWING NUMBER:

E12



PROPOSED LOWER LEVEL PLAN - PHASE TWO
SCALE=1/8"=1'-0"

CONSTRUCTION NOTES

- ① ALL ELECTRICAL AND DATA OUTLETS SHOWN ARE PLANNED NEW EXISTING OUTLETS NOT AFFECTED BY DEMOLITION TO REMAIN IN PLACE UNLESS NOTED OTHERWISE.
- ⊕ DUPLEX OUTLET, TP.
- ⊕ QUAD OUTLET, TP.
- ⊕ RELOCATE EXISTING OUTLET TO ABOVE NEW COUNTER
- ✕ VOICE, DATA, DATA OUTLET, TP.

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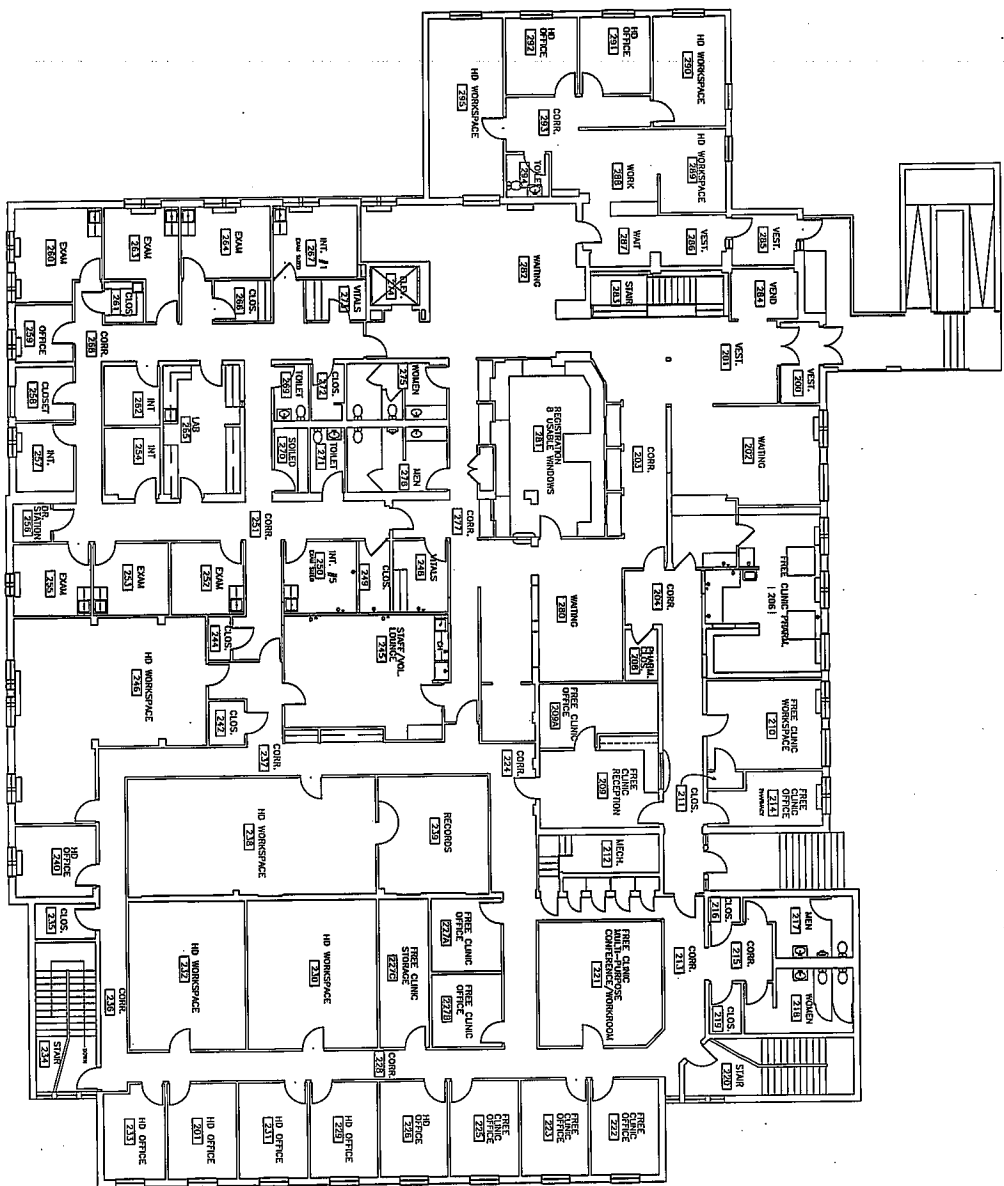
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LOWER LEVEL ELECTRICAL PLAN - PHASE TWO

REVISIONS	1.23.09
PROJECT #	0623
DATE	12.09.08
DRAWING NUMBER	E2.1



PROPOSED UPPER LEVEL PLAN - PHASE TWO
 SHEET 1 OF 19

CONSTRUCTION NOTES

- ① ALL ELECTRICAL AND DATA OUTLETS SHOWN ARE FROM NEW EXISTING OUTLETS NOT AFFECTED BY RENOVATION TO REMAIN IN PLACE UNLESS NOTED OTHERWISE.
- ⊕ DUPLEX OUTLET, TYP.
- ⊕ QUAD OUTLET, TYP.
- ⊕ RELOCATE EXISTING OUTLET TO ABOVE NEW COUNTER.
- ⊕ VOICE - DATA - DATA OUTLET, TYP.

<p>daggett + grigg architects 100 10TH STREET, NE, SUITE 200 CHARLOTTEVILLE, VA 22902 T 434.971.8848 F 434.286.3040 www.daggettgrigg.com</p>	<p>CHARLOTTEVILLE FREE CLINIC RENOVATION AT CHARLOTTEVILLE/ABEMARLE COUNTY HEALTH DEPT. 1138 ROSE HILL DRIVE CHARLOTTEVILLE, VIRGINIA</p> <p>UPPER LEVEL ELECTRICAL PLAN - PHASE TWO</p>	<p>REVISIONS: 1.23.09</p> <p>PROJECT #: 0623</p> <p>DATE: 12.09.08</p> <p>DRAWING NUMBER: E2.2</p>
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