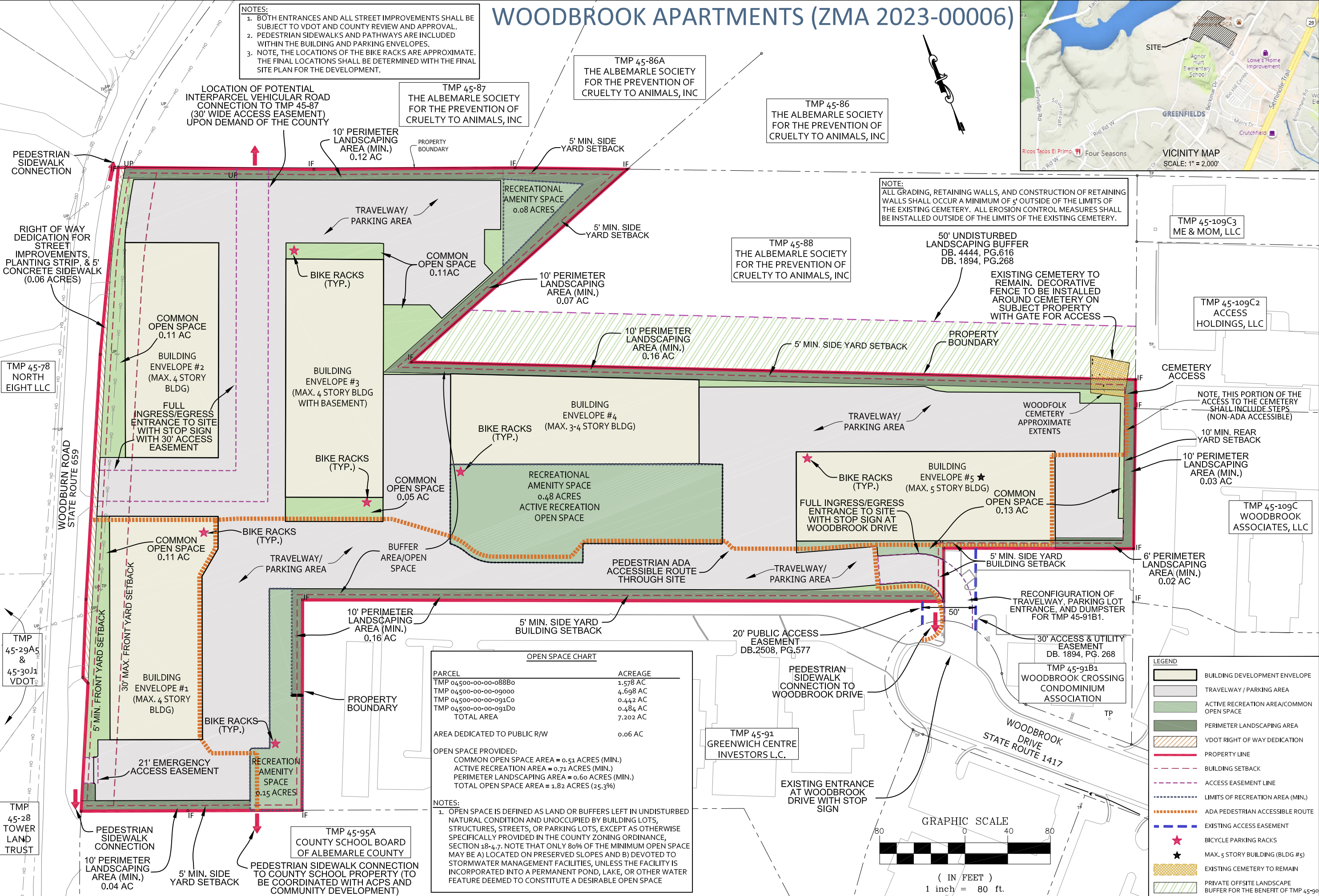
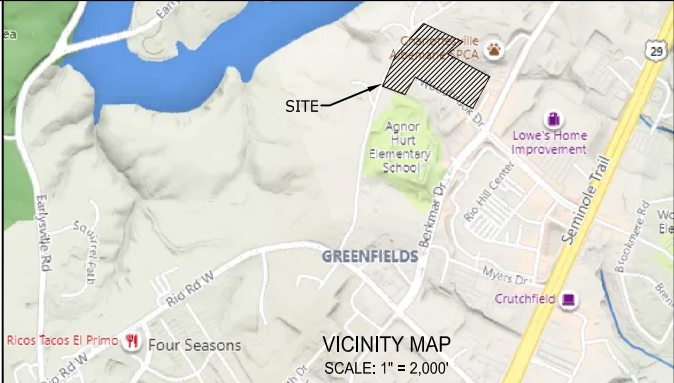


- NOTES:
1. BOTH ENTRANCES AND ALL STREET IMPROVEMENTS SHALL BE SUBJECT TO VDOT AND COUNTY REVIEW AND APPROVAL.
  2. PEDESTRIAN SIDEWALKS AND PATHWAYS ARE INCLUDED WITHIN THE BUILDING AND PARKING ENVELOPES.
  3. NOTE, THE LOCATIONS OF THE BIKE RACKS ARE APPROXIMATE. THE FINAL LOCATIONS SHALL BE DETERMINED WITH THE FINAL SITE PLAN FOR THE DEVELOPMENT.

WOODBROOK APARTMENTS (ZMA 2023-00006)



**COLLINS ENGINEERING**

200 GARRETT STREET, SUITE K, CHARLOTTESVILLE, VIRGINIA 22902

OFFICE: 434-293-3729

REVISIONS	DESCRIPTION
DATE	INITIAL SUBMITTAL
06/20/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS
09/18/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS
12/04/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS

**WOODBROOK APARTMENTS**

**(ZMA 2023-00006)**

**APPLICATION PLAN**

RIO MAGISTERIAL DISTRICT

JUNE 20, 2023

SCALE

1" = 80'

SHEET 1 OF 6

GENERAL NOTES

OWNERS:	TMP 04500-00-00-088Bo CRYSTAL R HOBBS 2021 WOODBURN ROAD CHARLOTTESVILLE, VA 22901		TMP 04500-00-00-091Co VALENTE, ARTHUR M & ALYSON C VALENTE 620 WOODBROOK DR, SUITE 6 CHARLOTTESVILLE, VA 22901																					
	TMP 04500-00-00-09000 VALENTE, ARTHUR M & ALYSON C VALENTE 620 WOODBROOK DR, SUITE 6 CHARLOTTESVILLE, VA 22901		TMP 04500-00-00-091Do SCHMUNK, ROBERT FOR GLADYS E 1989 WOODBURN ROAD CHARLOTTESVILLE, VA 22901																					
DEVELOPER:	GW REAL ESTATE PARTNERS, LLC 145 EDHAM DRIVE, SUITE 100 CHARLOTTESVILLE, VA 22903		ENGINEER: COLLINS ENGINEERING 200 GARRETT STREET, SUITE 200 CHARLOTTESVILLE, VA 22902																					
TAX MAP & ZONING:	04500-00-00-088Bo 1.578 ACRES D.B. 4755, PG. 423 R-6 RESIDENTIAL	04500-00-00-09000 4.698 ACRES D.B. 5193, PG. 594 R-6 RESIDENTIAL	04500-00-00-091Co 0.442 ACRES D.B. 5186, PG. 339 R-6 RESIDENTIAL	04500-00-00-091Do 0.484 ACRES D.B. 2097, PG. 285 R-6 RESIDENTIAL																				
TOTAL PROJECT AREA:	<table> <tr> <td>04500-00-00-088Bo</td><td>-</td><td>1.578 AC.</td><td></td></tr> <tr> <td>04500-00-00-09000</td><td>-</td><td>4.698 AC.</td><td></td></tr> <tr> <td>04500-00-00-091Co</td><td>-</td><td>0.442 AC.</td><td></td></tr> <tr> <td>04500-00-00-091Do</td><td>-</td><td>0.484 AC</td><td></td></tr> <tr> <td colspan="2"></td><td>7.202 AC. TOTAL</td><td></td></tr> </table>				04500-00-00-088Bo	-	1.578 AC.		04500-00-00-09000	-	4.698 AC.		04500-00-00-091Co	-	0.442 AC.		04500-00-00-091Do	-	0.484 AC				7.202 AC. TOTAL	
04500-00-00-088Bo	-	1.578 AC.																						
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04500-00-00-091Co	-	0.442 AC.																						
04500-00-00-091Do	-	0.484 AC																						
		7.202 AC. TOTAL																						
PROPOSED ZONING:	PLANNED RESIDENTIAL DEVELOPMENT (PRD) NOTE: PROPERTY SHALL STILL COMPLY WITH THE EXISTING ZONING OVERLAY DISTRICT: AIRPORT IMPACT AREA OVERLAY DISTRICT (AIA). THIS OVERLAY DISTRICT IS NOT BEING REVISED AS PART OF THE PROJECT.																							
TOPOGRAPHY:	TOPOGRAPHY & BOUNDARY INFORMATION COMPILED BY LINCOLN SURVEYING IN MAY 2023.																							
DATUM:	NAD 83																							
GROSS/NET DENSITY:	OVERALL GROSS & NET DENSITY CALCULATIONS (BASED ON THE ALB. COUNTY GIS COMPREHENSIVE PLAN MAPS) URBAN DENSITY RESIDENTIAL (6.01 -34 UNITS/ACRE) x 7.202 ACRES = 43 UNITS (MIN.) & 244 UNITS (MAX) <u>PUBLIC &amp; PRIVATE OPEN SPACE AREA (ZERO UNITS/ACRE) = 0 UNITS (MIN. &amp; MAX)</u> OVERALL RECOMMENDED GROSS DENSITY & NET DENSITY: 43 UNITS (MIN.) TO 244 UNITS (MAX.)  NOTE: MAXIMUM NUMBER OF PROPOSED RESIDENTIAL UNITS SHALL NOT EXCEED 244 UNITS WITH THIS APPLICATION PLAN (34 DU/ACRE). (244 UNITS / (7.202 AC) = 33.9 DUA TOTAL GROSS DENSITY & TOTAL NET DENSITY = 33.9 DUA																							
ALLOWABLE USES:	THE ALLOWABLE USES FOR THIS DEVELOPMENT SHALL BE IN ACCORDANCE WITH SECTION 18-19.3.1.3 OF THE ALBEMARLE COUNTY ZONING ORDINANCE FOR MULTIFAMILY RESIDENTIAL HOUSING.																							
BUILDING HEIGHTS:	THE MAXIMUM BUILDING HEIGHT FOR THIS DEVELOPMENT SHALL BE 3 - 5 STORIES (EXCLUDING BASEMENTS) WITH A BUILDING HEIGHT NOT TO EXCEED 65 FEET. FOR EACH STORY THAT BEGINS ABOVE 40 FEET IN HEIGHT OR FOR EACH STORY ABOVE THE THIRD STORY, WHICHEVER IS LESS, THE MINIMUM STEPBACK SHALL BE 15 FEET. NOTE: 1. A SPECIAL EXCEPTION REQUEST IS BEING REVIEWED WITH THIS APPLICATION PLAN FOR FOR RELIEF OF THE 15' SETBACK REQUIREMENT FOR BUILDINGS THAT ARE GREATER THAN 3 STORIES OR 40' IN HEIGHT. 2. A 5 STORY BUILDING IS ONLY ALLOWED WITHIN BUILDING ENVELOPE #5, AS NOTED WITH THE STAR SYMBOL ON THE PLAN. FOR ALL OTHER BUILDING ENVELOPES, THE MAXIMUM BUILDING HEIGHT SHALL BE 4 STORIES.																							
SETBACKS:	BUILDING SETBACKS: 5' MIN. & 30' MAX. FRONT YARD BUILDING SETBACK 5' MIN. & NO MAX. SIDE YARD BUILDING SETBACK (10' MIN. BUILDING SEPARATION) 10' MIN. & NO MAX. REAR YARD BUILDING SETBACK PARKING SETBACKS: 10' MIN. FRONT YARD PARKING SETBACK 6' MIN. SIDE YARD PARKING SETBACK 6' MIN. REAR YARD PARKING SETBACK																							
ACCESS:	THE PROJECT CURRENTLY HAS (1) FULL ACCESS FROM WOODBOOK DRIVE, (1) FULL ACCESS FROM WOODBURN ROAD, AND (1) EMERGENCY ACCESS FROM WOODBURN ROAD THAT WILL PROVIDE ACCESS TO THE SITE. THE DEVELOPMENT IS ALSO PROPOSING AN INTERCONNECTION TO TMP 45-88 AS SHOWN ON THE APPLICATION PLAN.																							
PARKING:	PARKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 18.4.12 OF THE ALBEMARLE COUNTY ZONING ORDINANCE. IN ADDITION, A 20% PARKING REDUCTION IS BEING REQUESTED WITH THE REZONING, BASED ON THE PROXIMITY OF THE APARTMENT COMPLEX TO PUBLIC TRANSPORTATION AND SERVICE AREAS.																							
FIRE & RESCUE:	THE PROJECT SHALL CONFORM WITH ALBEMARLE COUNTY FIRE AND RESCUE REGULATIONS FOR FIRE PROTECTION AND ACCESS TO THE SITE. ALL DRIVE LANES WITHIN THE APARTMENT COMPLEX ADJACENT TO THE BUILDING ENVELOPE SHALL BE 26' IN WIDTH FOR FIRE PROTECTION OF THE 3, 4, AND 5 STORY BUILDINGS.																							

UTILITIES:	COUNTY WATER AND SEWER
WATERSHED:	RIVANNA RIVER - MEADOW CREEK
FLOODPLAIN:	THERE IS NO FLOODPLAIN LOCATED ON THIS SITE. FEMA MAP ID 51003C0280D DATED FEBRUARY 4, 2005. IN ADDITION, THERE ARE NO STATE OR FEDERAL DAM BREACH INUNDATION ZONES LOCATED ON THE PROPERTY.

LAND DEDICATED TO PUBLIC USE:

1. RIGHT OF WAY SHALL BE DEDICATED TO PUBLIC USE FOR ROAD FRONTAGE IMPROVEMENTS ALONG WOODBURN ROAD , INCLUDING A 5' CONCRETE SIDEWALK, STREET IMPROVEMENTS, AND A PLANTING STRIP. THE IMPROVEMENTS SHALL BE CONSTRUCTED WITH THE PROPOSED DEVELOPMENT.

**BUILDING ARCHITECTURE:** BUILDINGS SHALL INCLUDE A VARIETY OF ARCHITECTURAL MATERIALS AND COLORS, PORCHES, PROJECTIONS, AND OTHER ELEMENTS THAT WILL CREATE A COHESIVE APPEARANCE AND WILL PROVIDE ARTICULATED FEATURES AND DETAILING TO ADD VISUAL INTEREST AND ELIMINATE BLANK WALLS.

LANDSCAPING: ALL PLANTINGS WILL CONFORM TO CURRENT ANSI STANDARDS FOR NURSERY STOCK. INSTALLATION AND MAINTENANCE OF THE LANDSCAPE AREAS WILL BE THE RESPONSIBILITY OF THE DEVELOPER, AND THE APPROPRIATE EASEMENTS AND MAINTENANCE AGREEMENTS SHALL BE RECORDED DURING THE SITE PLAN PROCESS. GRADING, RETAINING WALLS, AND UTILITIES SHALL BE ALLOWED WITHIN ALL LANDSCAPING AREAS AND PERIMETER LANDSCAPING AREAS. LANDSCAPING SHALL BE SUBJECT TO REVIEW AND APPROVAL FROM ALBEMARLE COUNTY DURING THE SITE PLAN APPROVAL PROCESS, AND LANDSCAPING SHALL MEET THE STANDARDS SET IN SECTION 32-7.9.

AFFORDABLE HOUSING: FIFTEEN PERCENT (15%) OF THE CONSTRUCTED UNITS SHALL BE AFFORDABLE TO QUALIFYING HOUSEHOLDS FOR  
 A PERIOD OF (10) YEARS.

"QUALIFYING HOUSEHOLDS" MEANS A HOUSEHOLD IN WHICH THE TOTAL ANNUAL INCOME OF ALL ADULTS (18+) LIVING IN THE HOUSEHOLD, ADJUSTED FOR HOUSEHOLD SIZE BASED ON THE COUNTY-ISSUED HOUSEHOLD SIZE INCOME ADJUSTMENT FACTOR TABLE (SEE THIS SHEET), IS 80% OR LESS OF THE AREA MEDIAN INCOME ("AMI") PUBLISHED ANNUALLY BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.

"AFFORDABLE" MEANS THAT THE ANNUAL RENT (NOT INCLUDING UTILITIES) MAY NOT EXCEED 25% OF 85% OF AMI, ADJUSTED FOR UNIT SIZE (I.E. NUMBER OF BEDROOMS). AFFORDABLE RENT FOR EACH UNIT SIZE (I.E. NUMBER OF BEDROOMS) IS CALCULATED BY MULTIPLYING CURRENT AMI TIMES THE RENT FACTOR IN THE RENT FACTOR TABLE (SHOWN ON THIS SHEET). FOR EXAMPLE, FY2023

ALBEMARLE COUNTY AMI IS \$123,300. MAXIMUM MONTHLY RENT (NOT INCLUDING UTILITIES) FOR A TWO-BEDROOM APARTMENT AFFORDABLE AT 80% AMI IS  $\$123,300 \times 0.017708 = \$2,183$ , BASED ON THE COUNTY-ISSUED RENT FACTOR TABLE (SHOWN ON THIS SHEET).

HOUSEHOLD SIZE- ADJUSTMENT FACTORS		RENT ADJUSTMENT FACTORS	
# Persons in households	Adjustment factor	# of Bedrooms	Rent Factor
1	0.7	Eff./Studio	0.012396
2	0.8	1	0.014167
3	0.9	2	0.017708
4	Base Income	3	0.022135
5	1.08	4	0.024792
6	1.16	5	0.028510
7	1.24	6	0.032229
8	1.32	7	0.035948

NOTE: THE CALCULATION OF A HOUSEHOLD'S INCOME IS DONE SOLELY TO ENSURE THAT THE HOUSEHOLD QUALIFIES, BASED ON THE DEFINITION OF "QUALIFYING HOUSEHOLD" ABOVE, TO RENT AN AFFORDABLE UNIT. IT DOES NOT LIMIT THE UNIT SIZE A QUALIFYING HOUSEHOLD MAY CHOOSE TO RENT. IF A QUALIFYING HOUSEHOLD CHOOSES TO RENT A UNIT THAT WOULD OTHERWISE MAKE ITS RENT-TO-INCOME RATIO GREATER, THE PROPERTY OWNER IS NOT OBLIGATED TO ADJUST THE RENT OF THAT UNIT BELOW THE MAXIMUM RENTS AS CALCULATED ABOVE. THE PROPERTY OWNER MUST ENSURE THAT THE RENT IS AFFORDABLE BASED ON THE CALCULATION DESCRIBED IN "AFFORDABLE RENT".

STORMWATER MANAGEMENT: THE SITE DEVELOPMENT SHALL COMPLY WITH DEQ AND ALBEMARLE COUNTY REQUIREMENTS FOR WATER PROTECTION, INCLUDING WATER QUALITY AND WATER QUANTITY REQUIREMENTS. A SWM PLAN WILL BE PROVIDED WITH THE FINAL SITE PLAN FOR LAND DISTURBANCE. WATER QUALITY AND WATER QUANTITY PRACTICES TO MEET STATE REQUIREMENTS MAY INCLUDE A NUMBER OF BMP PRACTICES, SUCH AS WATER QUALITY SWALES, PERVIOUS PAVERS, UNDERGROUND DETENTION, RAIN GARDENS, WATER HARVESTING, NUTRIENT CREDITS, ETC.

NOTES:

1. THE PROPERTY SHALL BE DEVELOPED IN GENERAL ACCORD WITH THE KEY FEATURES OF THIS APPLICATION PLAN. MINOR VARIATION FROM THIS PLAN ARE PERMITTED, IN ACCORDANCE WITH ALBEMARLE COUNTY ZONING REQUIREMENTS AND REGULATIONS.
2. ALL PROPOSED ROADWAYS SHALL HAVE STREET TREES IN ACCORDANCE WITH ALBEMARLE COUNTY REQUIREMENTS. ALL TREES SHALL BE MAINTAINED BY THE APARTMENT COMPLEX MANAGEMENT SERVICES.
3. ALL ROADWAY FRONTAGE IMPROVEMENTS ALONG WOODBURN ROAD SHALL BE SUBJECT TO ALBEMARLE COUNTY AND VDOT REVIEW AND APPROVAL. MODIFICATIONS AND CHANGES TO THE ROAD FRONTAGE IMPROVEMENTS PROPOSED WITHIN THE APPLICATION PLAN MAY BE IMPLEMENTED AS REQUESTED BY THE COUNTY AND VDOT DURING THE REVIEW AND APPROVAL PROCESS.
4. INTERIOR SIDEWALKS FOR THE PEDESTRIAN NETWORK THROUGHOUT THE APARTMENT COMPLEX SHALL BE INCLUDED IN THE BUILDING ENVELOPE AREAS AND TRAVELWAY/PARKING ENVELOPE AREAS AS SHOWN ON THE APPLICATION PLAN.
5. ACTIVE RECREATION AREAS ENVISION A CLUBHOUSE, FITNESS AREA, SWIMMING POOL, GRASS RECREATION FIELD, TOT LOT, & DOG PARK. ALL AMENITIES SHALL BE DETERMINED WITH THE FINAL SITE PLAN AND IN ACCORDANCE WITH SECTION 4.16 OF THE ALBEMARLE COUNTY CODE. NOTE, AMENITIES MAY BE SUBSTITUTED TO MEET THE RECREATIONAL REQUIREMENTS. ALL PROJECT AMENITIES MUST BE COMPLETED PRIOR TO 50% OF THE UNITS RECEIVING CERTIFICATE OF OCCUPANCIES.
6. THE PROPOSED OPEN SPACE AREAS MAY BE EXPANDED DURING THE DESIGN PHASES TO ALLOW FOR ADDITIONAL AREA TO ACCOMMODATE UTILITIES, STORMWATER MANAGEMENT, AND EROSION CONTROL MEASURES, AS NECESSARY FOR THE DEVELOPMENT.
7. UTILITIES, INCLUDING BUT NOT LIMITED TO WATER, STORM SEWER, SANITARY SEWER UTILITIES, MAY BE INSTALLED WITHIN THE BUFFER AREAS AND OPEN SPACE AREAS ON THE PROPERTY. SIGNS (APPROVED BY ALBEMARLE COUNTY) AND RETAINING WALLS MAY ALSO BE PLACED / CONSTRUCTED WITHIN THE BUFFER AREAS AND OPEN SPACES. GRADING IS ALLOWED WITHIN ALL OPEN SPACES AND BUFFER AREAS.
8. A MINIMUM OF 25% COMMON OPEN SPACE SHALL BE PROVIDED ON THE PROPERTY. THIS AREA SHALL INCLUDE THE ACTIVE RECREATION AREAS, BUFFERS, OPEN SPACE, AND OTHER AMENITY AREAS.
9. IF PROPOSED, GARAGE UNITS MAY BE INSTALLED WITHIN THE PARKING AREAS OF THE APPLICATION PLAN, SUBJECT TO REVIEW AND APPROVAL FROM ALBEMARLE COUNTY AT THE TIME OF PROCESSING THE SITE PLAN.

WOODBROOK APARTMENTS  
(ZMA 2023-00006)  
APPLICATION NOTES  
RIO MAGISTERIAL DISTRICT

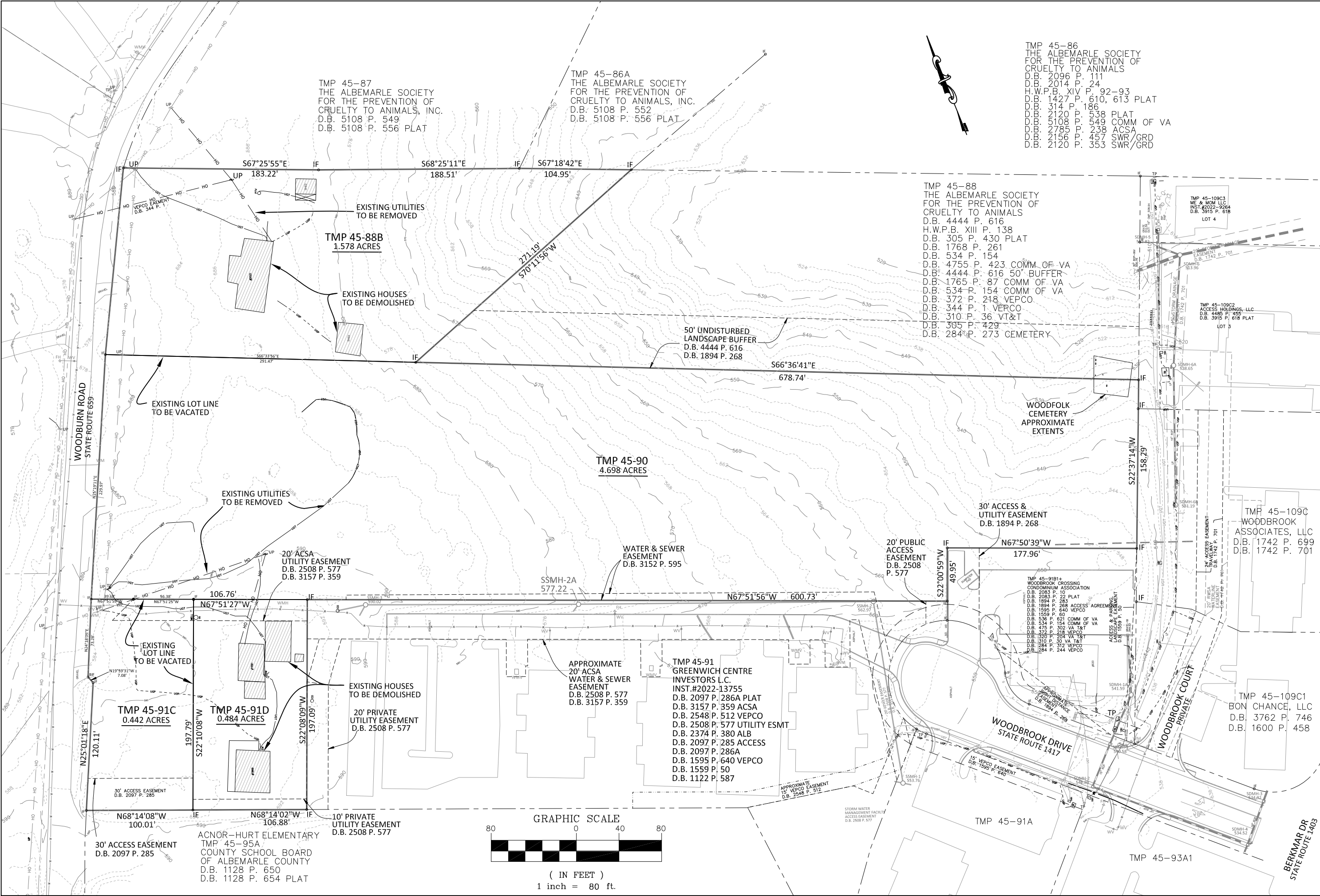
JUNE 20, 2023

SCALE

N/A

SHEET 2 OF 6





COLLINS ENGINEERING

200 GARRETT STREET, SUITE K, CHARLOTTESVILLE, VIRGINIA 22902

OFFICE: 434-293-3729

REVISIONS	
DATE	DESCRIPTION
06/20/2023	INITIAL SUBMITTAL
09/18/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS
12/04/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS

WOODBROOK APARTMENTS  
(ZMA 2023-00006)

EXISTING CONDITIONS

RIO MAGISTERIAL DISTRICT

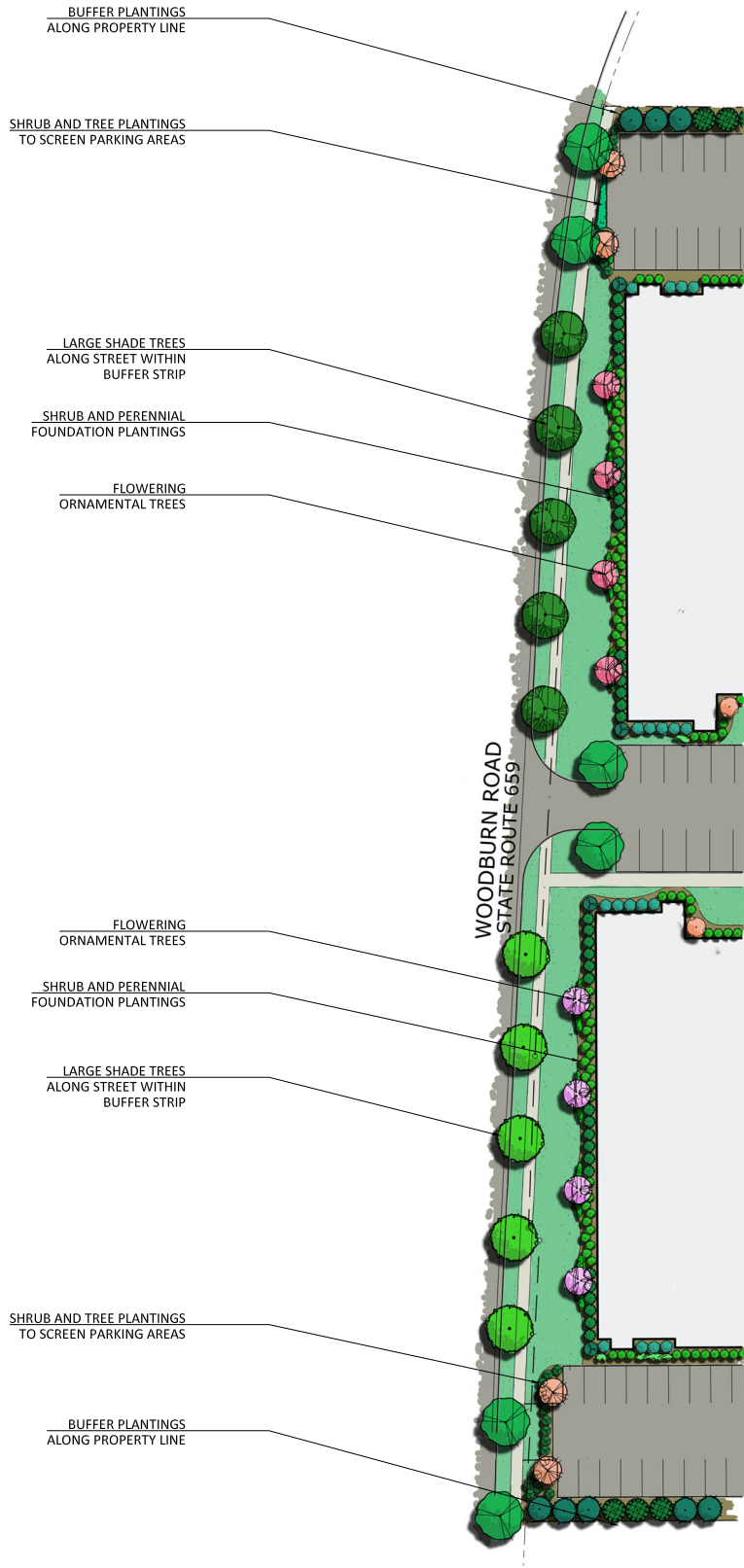
JUNE 20, 2023

SCALE  
1" = 80'

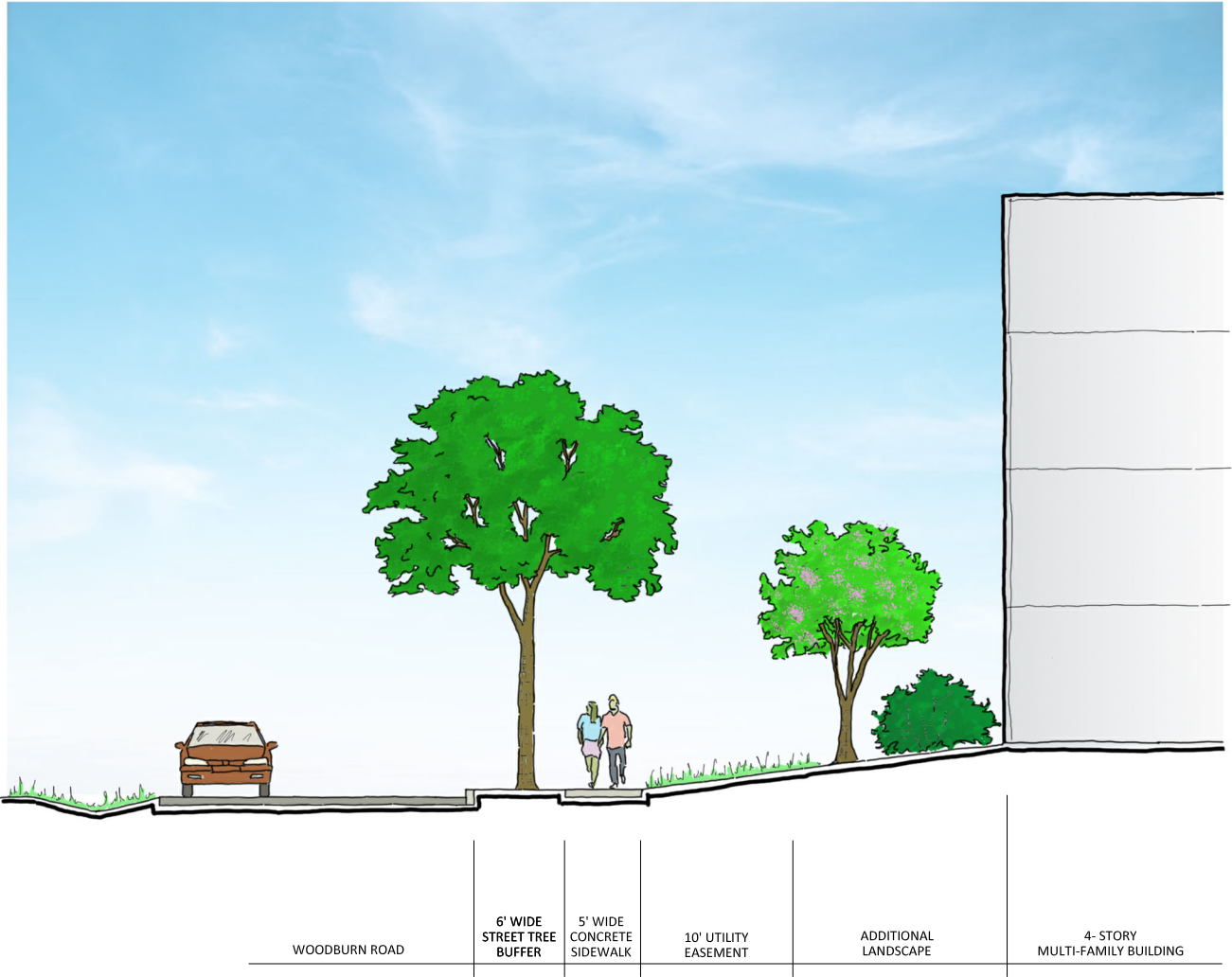
SHEET 3 OF 6







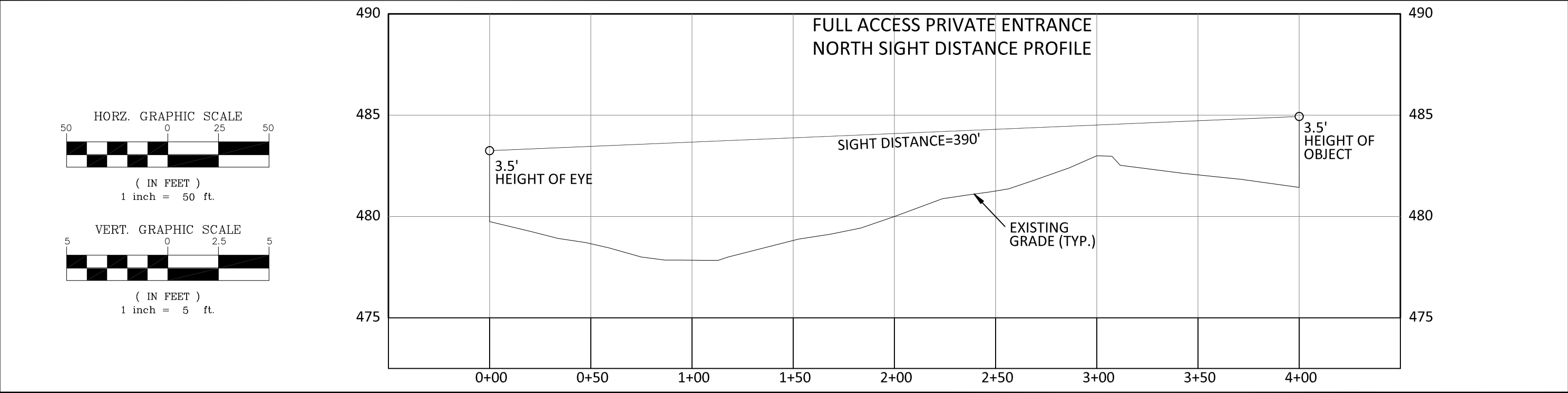
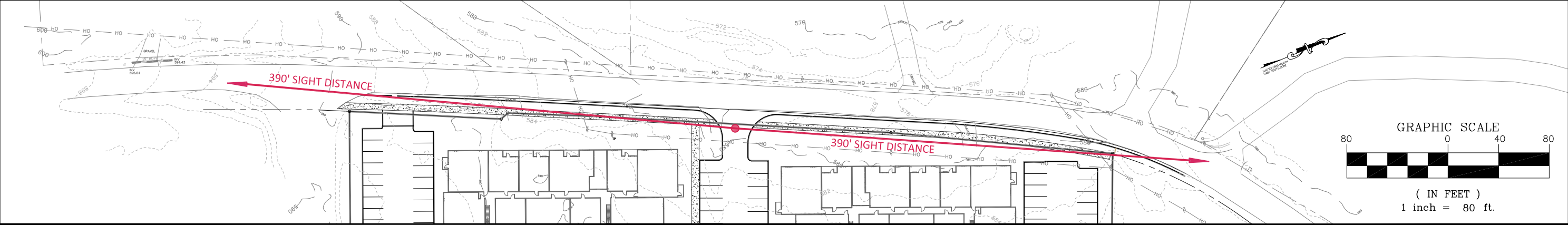
1. WOODBURN ROAD -PROPOSED LANDSCAPE PLAN  
SCALE: 1" = 80'-0"



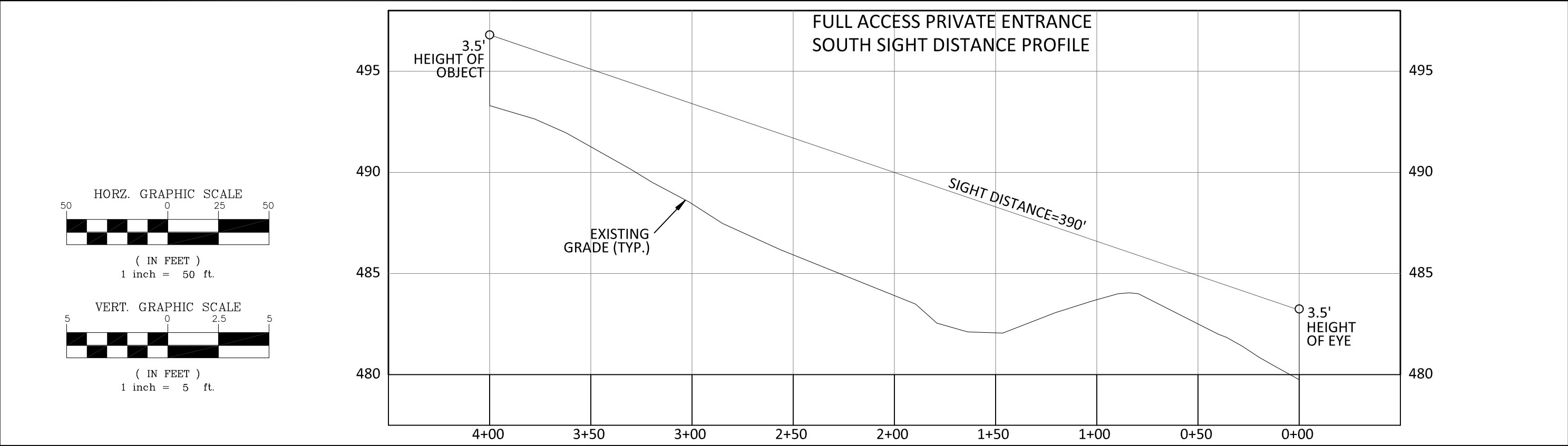
2. WOODBURN ROAD -PROPOSED LANDSCAPE ELEVATION  
SCALE: 1" = 1'-0"

REVISIONS	
DATE	DESCRIPTION
06/20/2023	INITIAL SUBMITTAL

**WOODBROOK APARTMENTS**  
(ZMA 2023-000 \_\_)  
**WOODBURN ROAD LANDSCAPE**  
RIO MAGISTERIAL DISTRICT



REVISIONS	
DATE	DESCRIPTION
06/20/2023	INITIAL SUBMITTAL
09/18/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS
12/04/2023	REVISED APPLICATION PLAN ADDRESSING COUNTY COMMENTS



**WOODBROOK APARTMENTS**  
**(ZMA 2023-00006)**  
**WOODBURN ROAD SIGHT LINES**  
RIO MAGISTERIAL DISTRICT

JUNE 20, 2023

**SCALE**  
1" = 80'

SHEET 6 OF 6